



## **Horace Planning & Zoning Commission Meeting Agenda**

Tuesday, April 25, 2023 – 6:00 pm

Fire Hall Event Center – 413 Main Street, Horace, North Dakota

1. Declare Quorum
2. Regular Agenda
3. Approve the April 11, 2023, Planning & Zoning Commission Meeting Minutes
4. 9870 Industrial Drive, J-Tech Mechanical | Jace Hellman, Community Development Director
  - a. Design Review
    - i. Discussion & Action
5. Adjournment



## HORACE PLANNING and ZONING COMMISSION MEETING MINUTES

April 11, 2023 | 6 p.m.

Horace Fire Hall Event Center | 413 Main Street, Horace ND 58047

**Present:** Planning and Zoning Commissioners, Amy Beaton, Julie Hochhalter, Russell Sahr and Doug Wendel; Community Development Director Jace Hellman; City Council Member Naomi Burkland; City Attorney Lukas Croaker

Chair Beaton called the meeting to order at 6:00 p.m.

### **Agenda Item 1: Declare Quorum**

### **Agenda Item 2: Regular Agenda**

Vice-Chair Hochhalter moved to approve the Regular Agenda. Seconded by Commissioner Sahr. All in favor, none opposed. Motion carried 4-0.

### **Agenda Item 3: Approve the March 14, 2023, Planning and Zoning Commission Meeting Minutes**

Vice-Chair Hochhalter moved to approve the minutes from March 14, 2023. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried 4-0.

### **Agenda Item 4: 9815 Industrial Drive, Buildings 2-4 | Jace Hellman, Community Development Director**

Mr. Hellman presented the Design Review request for three proposed buildings to be built on the property address 9815 Industrial Drive. Mr. Hellman explained that the first building was approved by the Planning and Zoning Commission on September 13<sup>th</sup> of 2022. Mr. Hellman went on to explain that due to the numerous buildings being approved, we will need to establish at what point in time the landscaping for the site should be completed. The Applicant, Blake Brogen, stated that all three buildings are intended on being completed by the summer of 2024, and that his intention was to complete the landscaping around each building as they were completed. The Commission was agreeable to that timeline. Mr. Brogen went on to explain that there were a series of design modifications depending on the location of the building on the site. Those modifications included removing stone wainscot on the east and west elevations of all four buildings; adding stone wainscot on the north wall of buildings 3 and 4 and no windows on the north or south elevation of buildings 3 and 4. Vice-Chair Hochhalter mentioned that a Quaking Aspen tree does not do well with the soils in this area, and recommended removing that species from the proposed landscape plan and replacing them with one of the other selected trees on the applicants landscape plan.

Commissioner Wendel moved to approve the design review request for 9815 Industrial Drive, Buildings 2-4 with the following modifications:

- Removing stone wainscot on the east and west elevations of all four buildings;
- Adding stone wainscot on the north wall of buildings 3 and 4;
- No windows on the north or south elevation of buildings 3 and 4; and
- Removal of Quaking Aspen Tree from the list of trees to be used.

Seconded by Commissioner Sahr. All in favor, none opposed. Motion carried 4-0.

### **Agenda Item 5: Adjournment at 6:15 p.m.**



**Community Development Building Permit Review**

April 17, 2023

**Project Name:** J-Tech Mechanical – New Industrial Office/Storage Building

**Location:** 1030 5<sup>th</sup> St E, Horace, ND 58047

**Owner:** Jundt Properties LLC

**Applicant/Contact:** Thor Buildings LLC  
Thad Thorness  
[Thad@Thorbuildings.com](mailto:Thad@Thorbuildings.com)

This review is related to the requirements specified in the City of Horace’s Land Use Ordinance (Title 4).

<b>Current Zoning District:</b>	I-1 (Light Industrial)	<b>Property Size:</b>	2.01 acres (87,480 Square Feet)
<b>Proposed Setbacks:</b>	<b>Rear:</b> 14 ft	<b>Building Square Footage:</b>	11,880 Square Feet
	<b>Front:</b> 49 ft	<b>Proposed Building Height:</b>	18’ 4” inches Bearing Height, 29’ 11” to the peak
	<b>East Side:</b> 10 ft	<b>Building Materials:</b>	Dark grey metal siding, with Masonry Veneer, Metal Roof Panels
	<b>West Side:</b> 258 ft		

The following items must be addressed prior to the application being presented to the Planning and Zoning Commission for Design Review approval.

- Correct Zoning under Site Information to I-1 (Light Industrial) on all sheets.
- Please provide method of trash pickup, and details and location of enclosure if applicable.
- If available, please provide information regarding use of the area that will remain undeveloped.
- **Sheet C2:** provide a minimum of 9 different tree species per Horace City Code 17.8.8 (7)(a)
- **Sheet C-5:** Per Horace City Code 17.8.12 (6) (c) (ii) requires all outdoor storage to not be visible from the main public street frontage. Please provide opaque fencing or architectural screen walls.
  - Additionally, due to the lot’s proximity to future developable land the Commission may ask for additional screening or fencing to be provided along the rear of the storage area.
- **Sheet C-5:** Please provide details of what the gravel area will be used for outside of the designated storage area.
- **Sheet C-5, or applicable Sheet:** Horace City Code 17.6.5 (4) requires one loading area 12 ft wide by 50 ft long for all industrial buildings over 10,000 square feet. Please identify the location of the designated loading area location. **\*\*Reminder, Loading and delivery areas shall not be located along the side of the building that fronts on main public street frontage. \*\***
- **Sheet A200:** Please provide color descriptions of roof, siding, and veneer materials.
- **Sheet A200:** Several of the materials appear to be blank on the elevations, please correct with appropriate depiction.
- **Sheet A200:** Horace City Code 17.8.12 (6) (a) (v) requires sloped roofs over one hundred (100) feet to have a roof plane, gable, dormer, or similar feature to break up the roof line. It appears that the three-tiered proposed roof line should suffice, however, the Planning and Zoning Commission may require a breakup on the shop building roof line.



Once the above-mentioned corrections and questions have been addressed, pending any additional corrections, the Design Review will be presented to the Planning and Zoning Commission for their approval at their next available regularly scheduled meeting.

Following an approval of the Design Review, and all associated departmental signoffs have been received, a building permit may be issued for the proposed project upon your request.

Regards,

A handwritten signature in blue ink, appearing to read 'Jace Hellman', is positioned above the typed name.

Jace Hellman  
City of Horace  
Community Development Director



Community Development Building Permit Review

April 17, 2023

(MBN COMMENTS)

Project Name: J—Tech Mechanical— New Industrial Office/Storage Building  
 Location: 1030 5<sup>th</sup> St E, Horace, ND 58047  
 Owner: Jundt Properties LLC  
 Applicant/Contact: Thor Buildings LLC  
 Thad Thorness

This review is related to the requirements specified in the City of Horace’s Land Use Ordinance (Title 4).

Current Zoning District:	1-1 (Light Industrial)	Property Size:	2 01 acres (87,480 Square Feet)
Proposed Setbacks:	Rear: 33 ft	Building Square Footage:	11,880 Square Feet
	Front: 49 ft	Proposed Building Height:	18’ 4” inches Bearing Height, 29’ 11” to the peak
	East Side: 10 ft	Building Materials:	Dark grey metal siding, with Masonry Veneer, Metal Roof Panels
	West Side: 258 ft		

The following items must be addressed prior to the application being presented to the Planning and Zoning Commission for Design Review approval.


- Correct Zoning under Site Information to I-1 (Light Industrial) on all sheets.  
 (All sheets have been updated with I-1 information.)
- Please provide method of trash pickup, and details and location of enclosure if applicable.
- If available, please provide information regarding use of the area that will remain undeveloped.
- Sheet C2: provide a minimum of 9 different tree species per Horace City Code 17.8.8 (7)(a)  
 (Tree species have been updated, See Sheet C2.)
- Sheet C-5: Per Horace City Code 17.8 12 (6) (c) (ii) requires all outdoor storage to not be visible from the main public street frontage. Please provide opaque fencing or architectural screen walls.
  - Additionally, due to the lot’s proximity to future developable land the Commission may ask for additional screening or fencing to be provided along the rear of the storage area.  
 (Privacy screening will be added to all extents of the fence, See Sheet C5.)
- Sheet C-5: Please provide details of what the gravel area will be used for outside of the designated storage area.  
 (All gravel area is now encompassed by the fence line with privacy screen, See Sheet C5.)
- Sheet C-5, or applicable Sheet: Horace City Code 17.6.5 (4) requires one loading area 12 ft wide by 50 ft long for all industrial buildings over 10,000 square feet. Please identify the location of the designated loading area location. \*\*Reminder, Loading and delivery areas shall not be located along the side of the building that fronts on main public street frontage. \*\*  
 (Designated loading area location is updated, See Sheet C5.)
- Sheet A200: Please provide color descriptions of roof, siding, and veneer materials.
- Sheet A200: Several of the materials appear to be blank on the elevations, please correct with appropriate depiction.

- **Sheet A200:** Horace City Code 17.8.12 (6) (a) (v) requires sloped roofs over one hundred (100) feet to have a roof plane, gable, dormer, or similar feature to break up the roof line. It appears that the three-tiered proposed roof line should suffice, however, the Planning and Zoning Commission may require a breakup on the shop building roof line.

Once the above-mentioned corrections and questions have been addressed, pending any additional corrections, the Design Review will be presented to the Planning and Zoning Commission for their approval at their next available regularly scheduled meeting.

Following an approval of the Design Review, and all associated departmental signoffs have been received, a building permit may be issued for the proposed project upon your request.

Regards,

  
/s/

Jacé Hellman  
City of Horace  
Community Development Director





**JASON JUNDT**  
 9780 INDUSTRIAL DRIVE,  
 HORACE, NORTH DAKOTA  
 THOR BUILDINGS

KEYNOTES:

MASONRY VENEER

METAL SIDING

GENERAL NOTES

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

Dated: APRIL 2023 Regt. No. 1423

Signed: *[Signature]*

**YHR**  
 PARTNERS  
 ARCHITECTURE | PLANNING  
 420 Main Avenue  
 Moorhead, Minnesota 56560  
 Telephone: (218)233-4422

PROJECT NUMBER: 202016-42

FIRST FLOOR PLAN

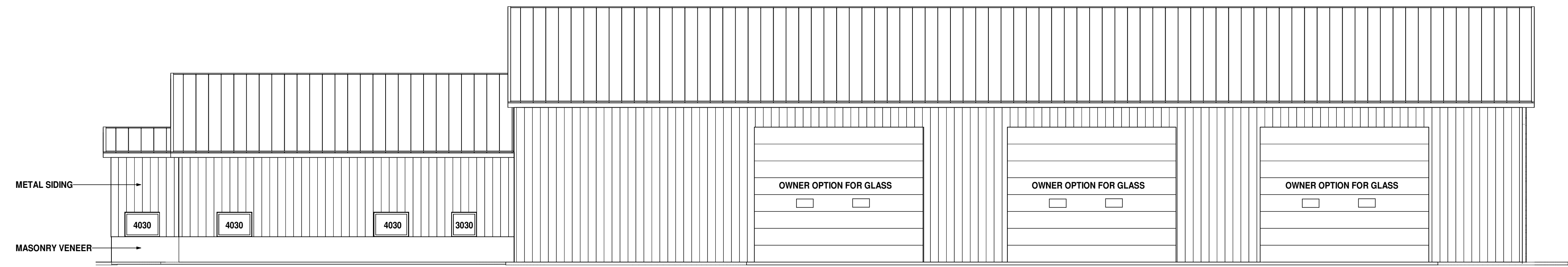
**A120**

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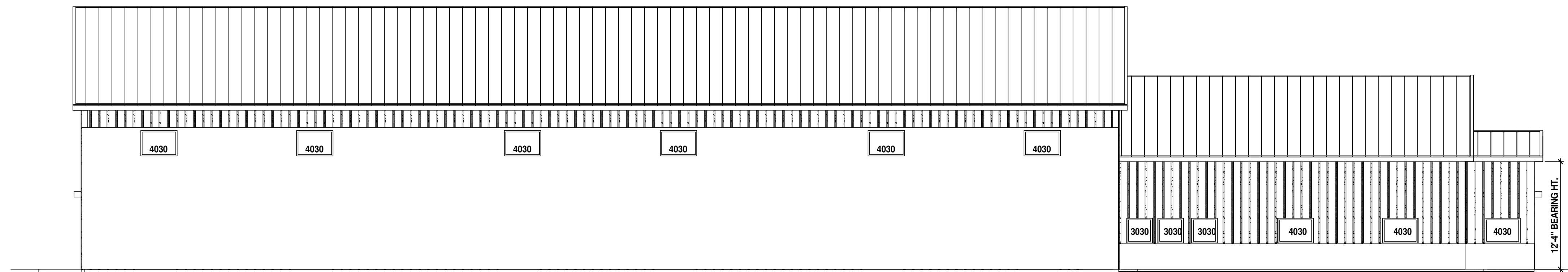


**JASON JUNDT**  
 9780 INDUSTRIAL DRIVE,  
 HORACE, NORTH DAKOTA  
 THOR BUILDINGS

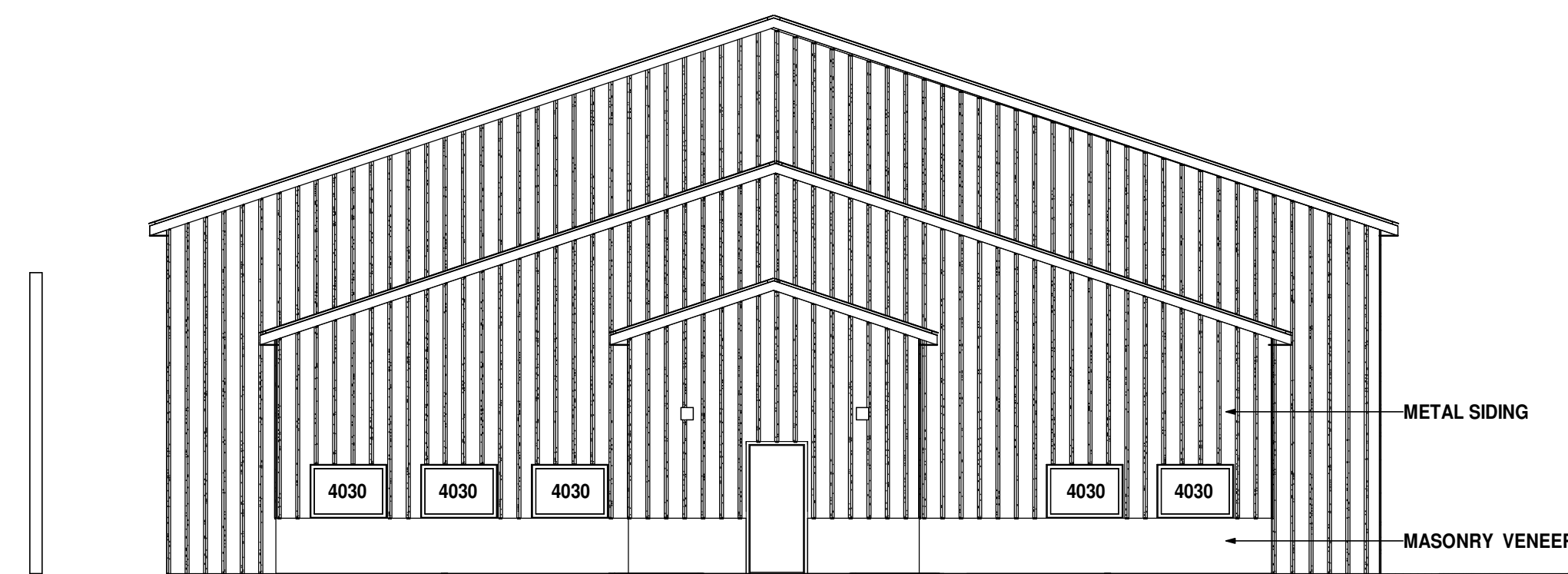
KEYNOTES:



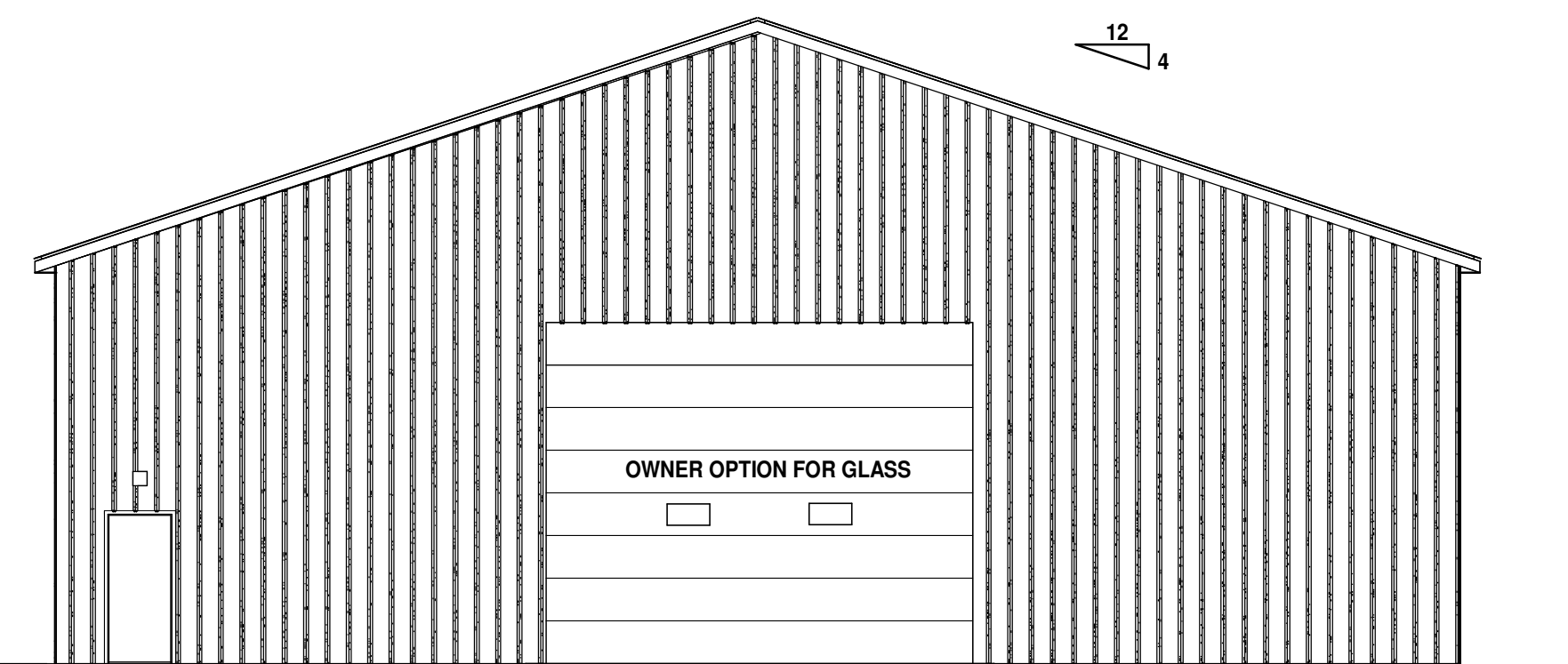
**J 3**  
**A200**  
**SIDE ELEVATION.**  
 1/8" = 1'-0"



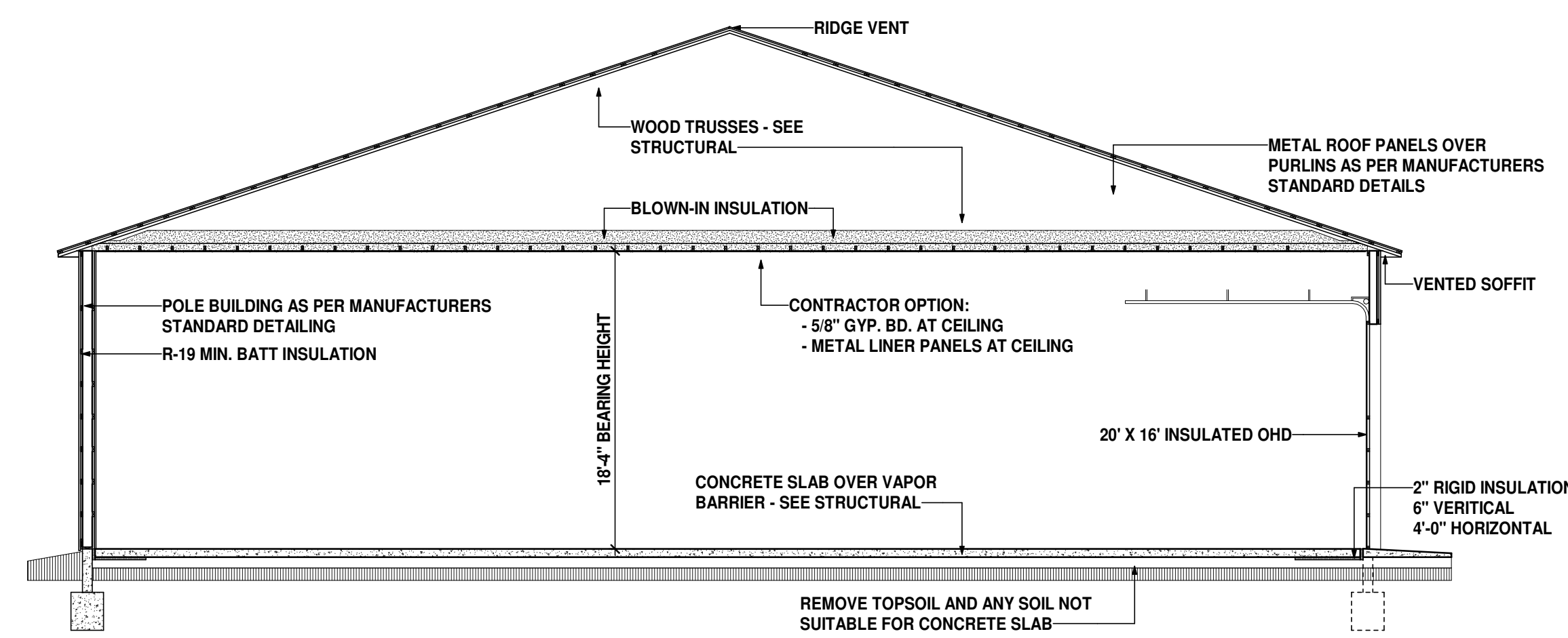
**F 3**  
**A200**  
**SIDE ELEVATION**  
 1/8" = 1'-0"



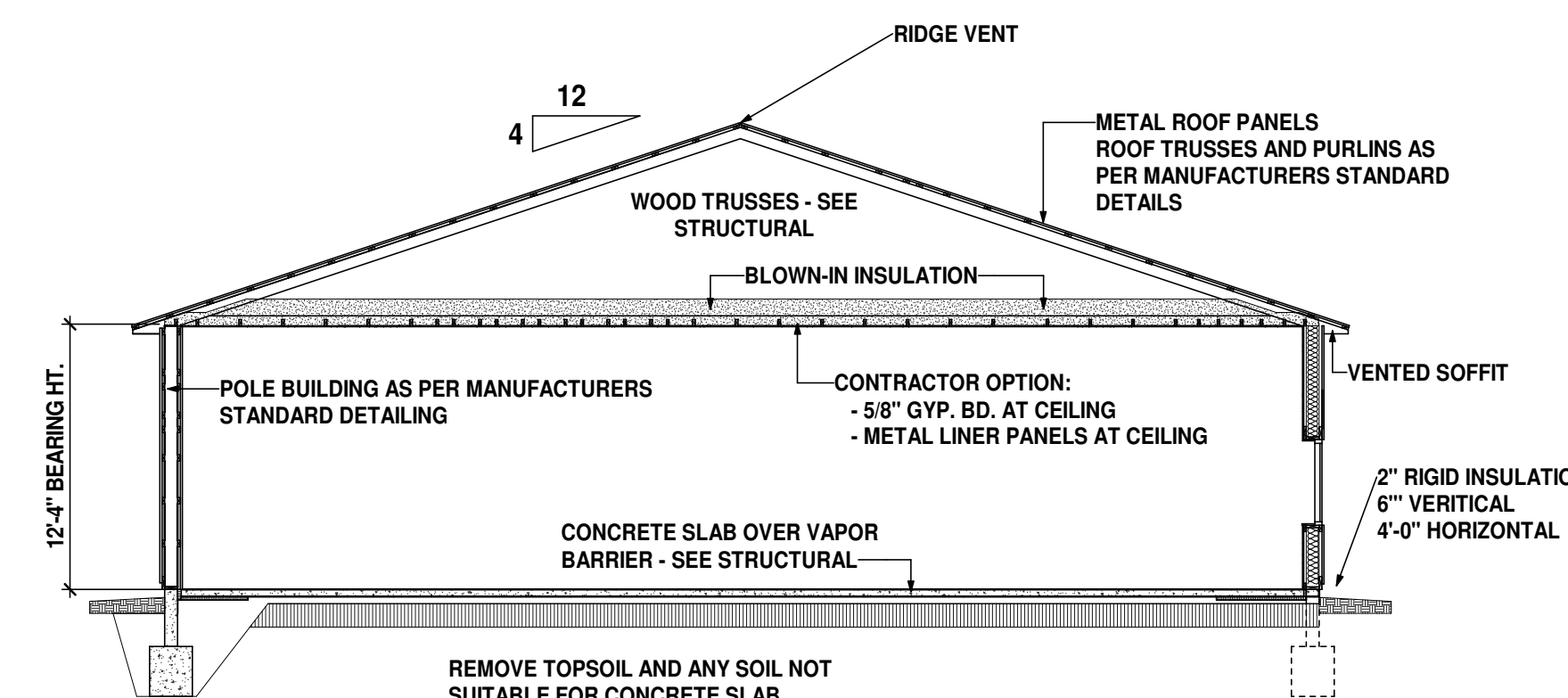
**D 3**  
**A200**  
**FRONT**  
 1/8" = 1'-0"



**D 9**  
**A200**  
**SIDE**  
 1/8" = 1'-0"



**A 2**  
**A200**  
**BUILDING SECTION AT WAREHOUSE**  
 1/8" = 1'-0"



**A 9**  
**A200**  
**BUILDING SECTION AT OFFICE**  
 1/8" = 1'-0"

GENERAL NOTES

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Dated: APRIL 2023 Regt. No. 1423

Signed: *[Signature]*



**ARCHITECTURE | PLANNING**  
 420 Main Avenue  
 Moorhead, Minnesota 56560  
 Telephone: (218)233-4422

PROJECT NUMBER: 202016-42

**BUILDING ELEVATIONS &  
 SECTIONS  
 A200**

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JASON JUNDT

9780 INDUSTRIAL DRIVE,  
HORACE, NORTH DAKOTA  
THOR BUILDINGS

KEYNOTES:

- GENERAL NOTES:**  
- IBC 2018
- SHOP/STORAGE AREA - S1  
NUMBER OF OCCUPANTS = 9,720 / 500 = 20
  - OFFICE AREA - B  
NUMBER OF OCCUPANTS = 36
- TOTAL NUMBER OF OCCUPANTS = 56
- CONSTRUCTION TYPE VB (TABLE 506.2)
  - BUILDING IS NOT SPRINKLED
  - NO SEPARATION REQUIRED BETWEEN S1 AND B OCCUPANCY AS PER TABLE 508.4
  - BUILDING DOES NOT HAVE FIRE ALARM
  - WOOD POLE BUILDING CONSTRUCTION WITH METAL SIDING AND ROOF.
  - CONCRETE SLAB OVER GRAVEL
  - ALLOWABLE SQUARE FOOTAGE - 9,000 (TABLE 506.2)
  - INCREASE FOR OPEN AREA - 56% = 5,040 S.F.
  - ALLOWABLE SQUARE FEET = 14,040 S.F.
  - ACTUAL S.F. = 11,880 S.F.
  - NO TRAVEL DISTANCE OVER 100'-0"
  - FIRE EXTINGUISHERS TO BE PLACED SO NO MORE THAN 75'-0" FROM ANY POINT TO EXTINGUISHER
  - DRAFT STOPS TO BE PROVIDED AT MAXIMUM OF 3000 S.F. OF HORIZONTAL ATTIC SPACE. NO DRAFT STOPS REQUIRED AT OFFICE. 2 DRAFT STOPS REQUIRED AT SHOP AREA. CONTRACTOR OPTION ON PLACEMENT.
  - MECHANICAL AND ELECTRICAL DESIGN BUILD BY OWNER.

PLUMBING FIXTURE COUNTS:

- BUSINESS AREAS  
OFFICES = 12 OCCUPANTS  
CONF. AND BREAK ROOM = 36 OCCUPANTS
- SHOP AREA - 9720 / 500 PER OCC. = 20 OCCUPANTS
- TOTAL OCCUPANTS = 56
- TOILETS 1 REQUIRED 3 PROVIDED
- LAVS 1 REQUIRED 3 PROVIDED
- SERVICE SINK 1 REQUIRED 1 PROVIDED
- DRINKING FOUNTAIN 1 REQUIRED OWNER WILL HAVE WATER MACHINE IN BREAK ROOM

GENERAL NOTES

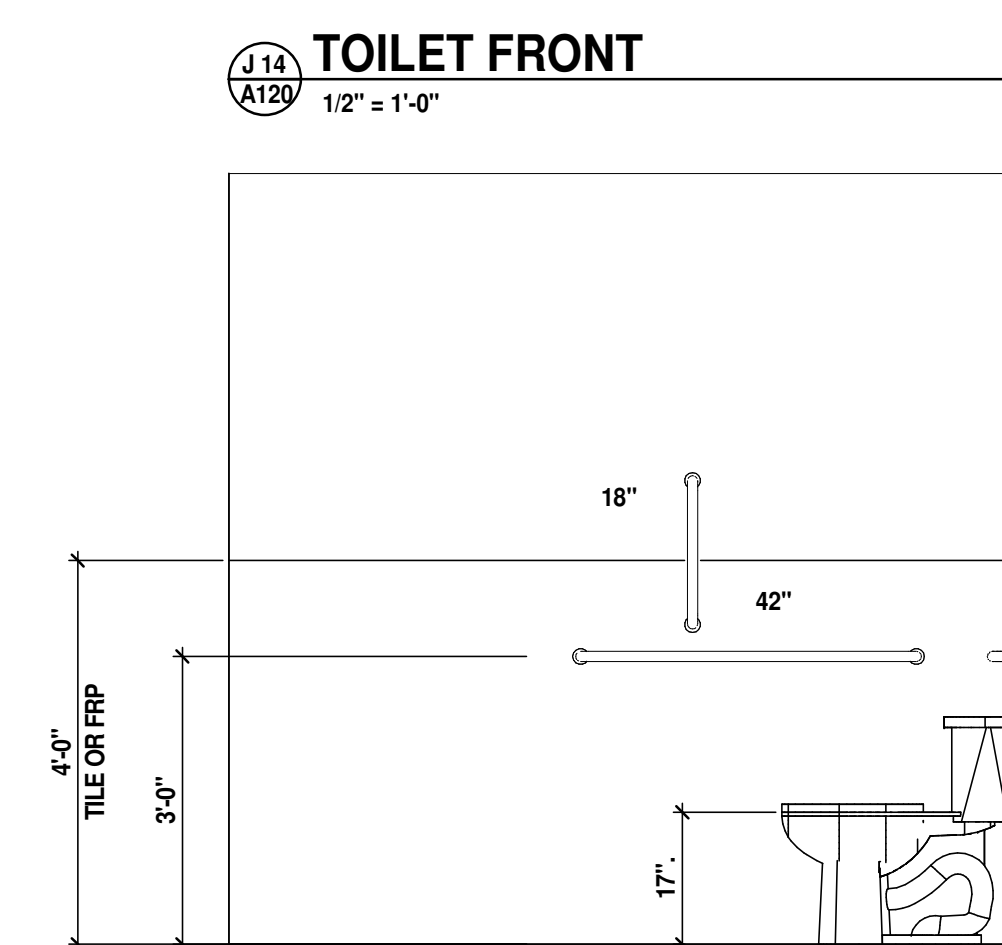
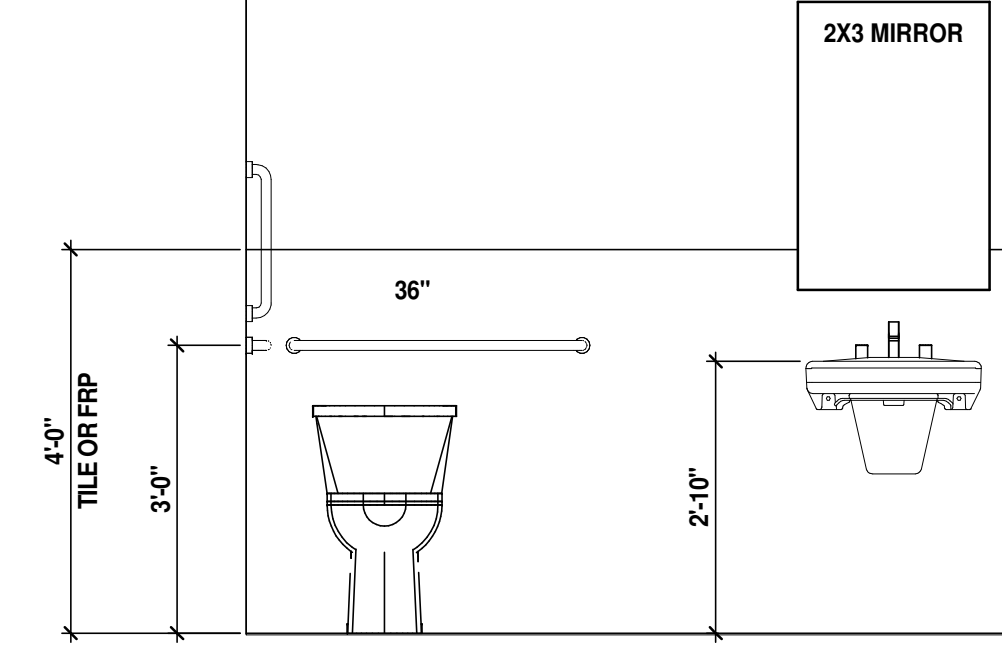
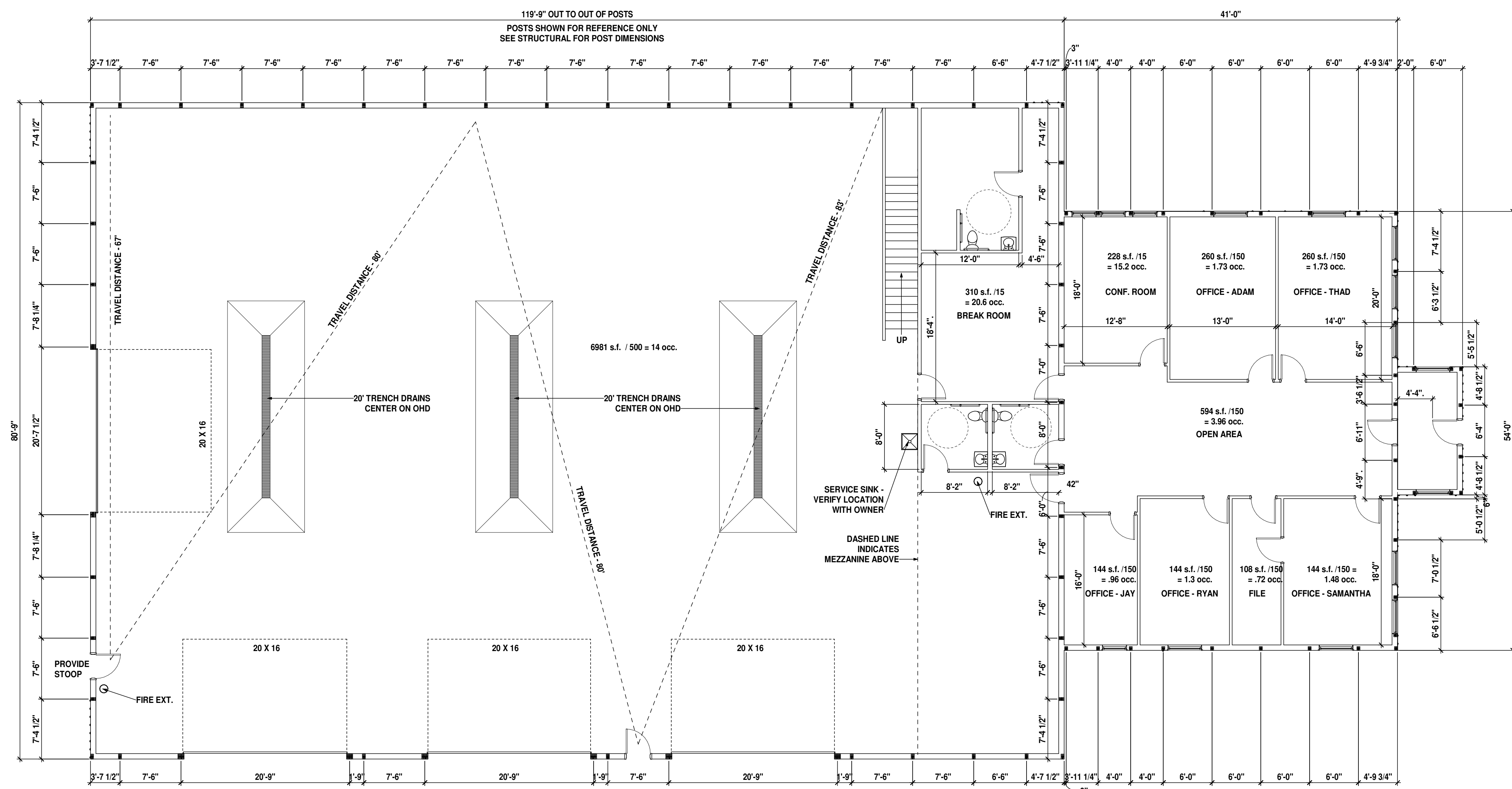
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Dated: APRIL 2021 Regl. No. 1423

Signed: *[Signature]*

**YHR**  
CONSULTING  
ARCHITECTURE | PLANNING  
420 MAIN AVENUE  
MOORHEAD, MN 56560  
FX: 218-233-7988 PH: 218-233-4422

Project Number: 202016-42



**FIRST FLOOR**  
E 3  
A120  
1/8" = 1'-0"



METAL SIDING - BLACK



MASONRY VENEER:  
ADORN MORTARLESS STONE VENEER  
LEDGESTONE SERIES, NORTHERN GRAY

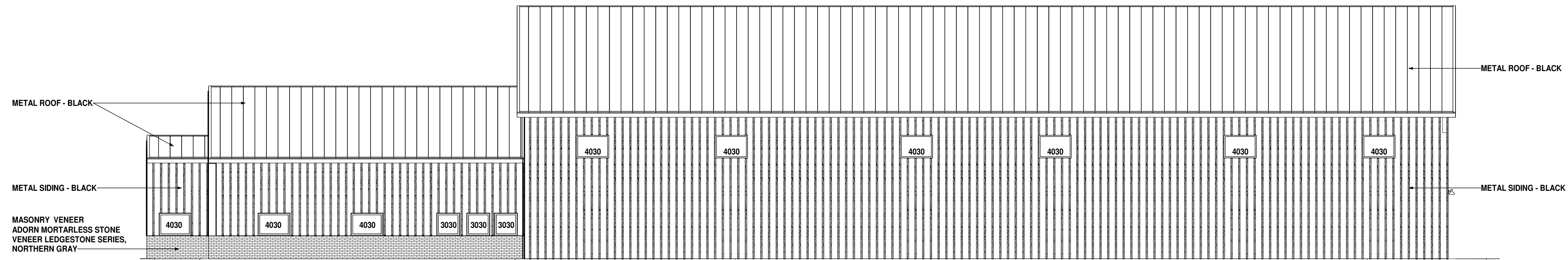


MASONRY VENEER:  
ADORN MORTARLESS STONE VENEER  
LEDGESTONE SERIES, NORTHERN GRAY

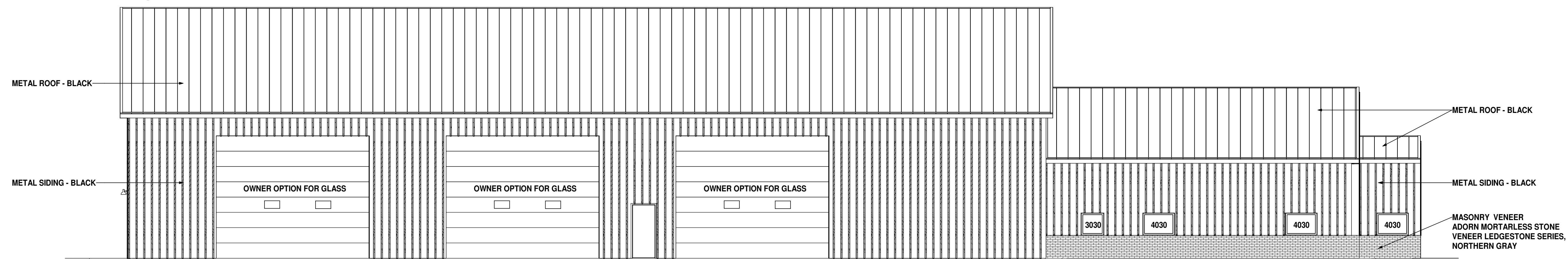
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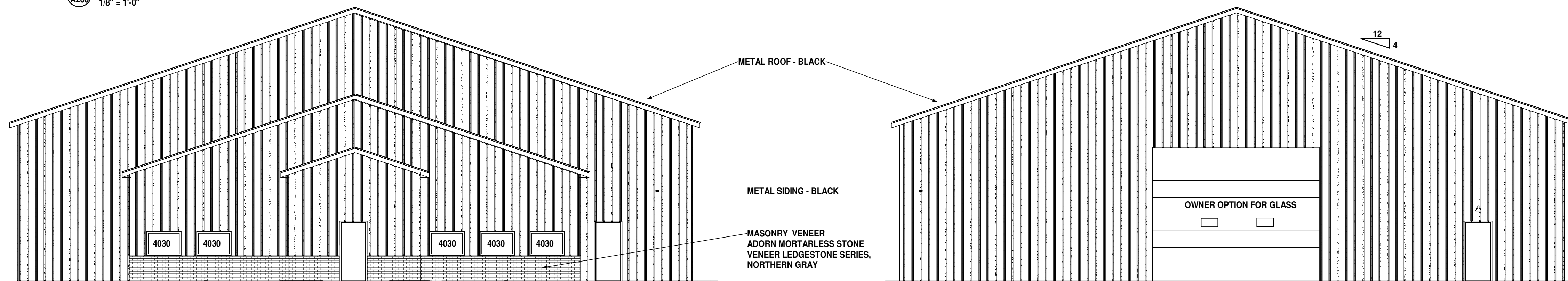
KEYNOTES:



**J3**  
**A200**  
**SIDE ELEVATION.**  
 1/8" = 1'-0"

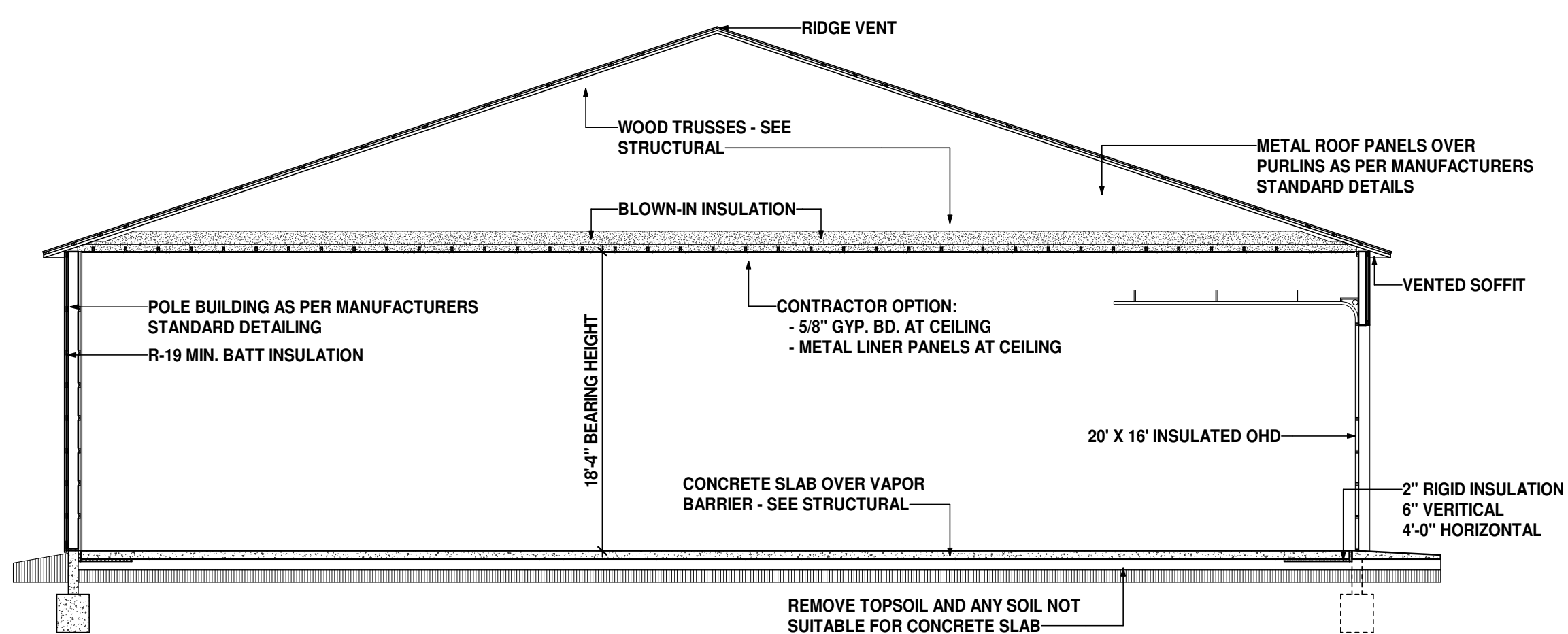


**F3**  
**A200**  
**SIDE ELEVATION**  
 1/8" = 1'-0"

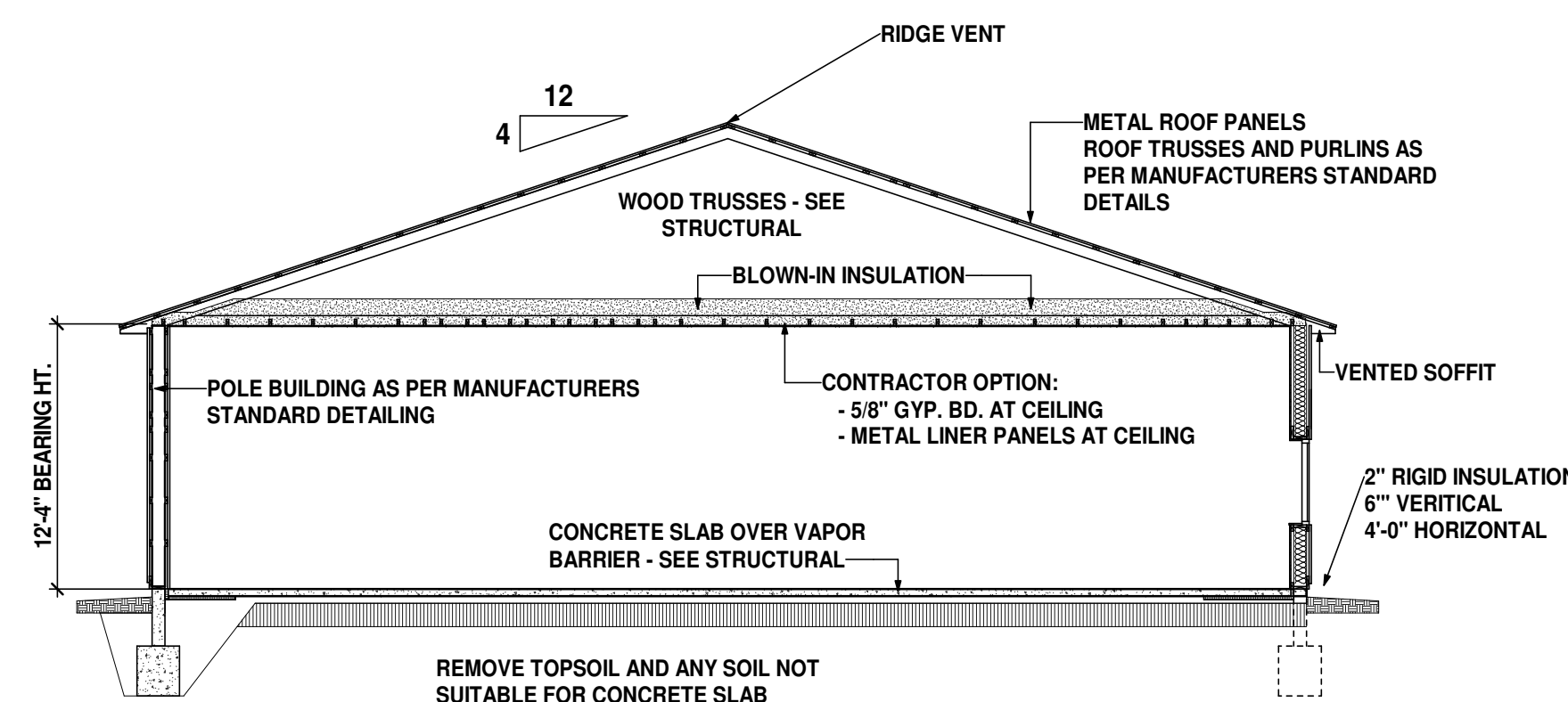


**D3**  
**A200**  
**FRONT**  
 1/8" = 1'-0"

**D9**  
**A200**  
**SIDE**  
 1/8" = 1'-0"



**A2**  
**A200**  
**BUILDING SECTION AT WAREHOUSE**  
 1/8" = 1'-0"



**A9**  
**A200**  
**BUILDING SECTION AT OFFICE**  
 1/8" = 1'-0"

GENERAL NOTES

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Dated: APRIL 2021 Regl. No. 1423

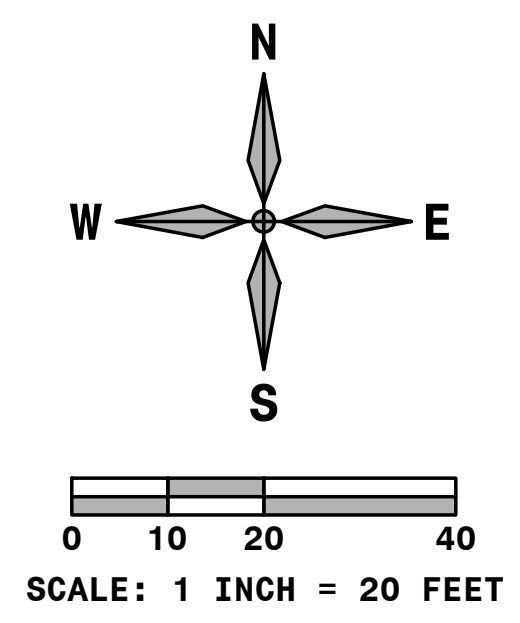
Signed: *[Signature]*

**YHR**  
 CONSUL  
 TING  
**ARCHITECTURE | PLANNING**  
 420 MAIN AVENUE  
 MOORHEAD, MN 56560  
 P: 218-233-7988 Ph: 218-233-4422

Project Number: 202016-42

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Sheet No.  
**A200**



**SYMBOL LEGEND:**

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING ELECTRICAL LINE
---	EXISTING WATERMAIN LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING SANITARY SEWER LINE
⊙	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING HYDRANT/BENCHMARK
⊗	EXISTING LIGHT POLE
⊠	EXISTING COMMUNICATIONS PEDESTAL
---	EXISTING CONTOUR
○	EXISTING SPOT ELEVATION
---	EXISTING WATER GATE VALVE
---	EXISTING TREE LINE
○	REMOVE EXISTING SANITARY CLEANOUT

**PLAN NOTES:**

1. ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.
3. CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS EXPENSE.
4. IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA STATE HEALTH DEPARTMENT SEVEN (7) DAYS PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
6. CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) PERMIT FROM THE CITY OF HORACE PRIOR TO START OF CONSTRUCTION.
7. ALL PAVEMENT MARKED FOR DEMOLITION SHALL BE FULL DEPTH SAW CUT PRIOR TO REMOVAL.
8. CONTRACTOR SHALL COORDINATE TAPPING OF THE EXISTING WATERMAIN WITH THE CITY OF HORACE MAINS AND HYDRANTS DEPARTMENT. CALL (701)241-1453
9. ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

**SITE INFORMATION:**

**SITE SIZE:**  
2.01 ACRES = 87,480 SF

**ZONING:**  
I-1 (LIGHT INDUSTRIAL)

**LEGAL DESCRIPTION:**  
LOT 2, BLOCK 1, VISTO INDUSTRIAL 3RD ADDITION TO THE CITY OF HORACE, CASS COUNTY, NORTH DAKOTA

**OWNER CONTACT:**  
JUNDT PROPERTIES LLC, 5018 PRARIE GREEN CT. W., WEST FARGO, NORTH DAKOTA 58078

**BENCHMARKS:**

**BM:** TOP NUT OF HYDRANT LOCATED SOUTH OF THE PROPERTY ±175' WEST FROM THE SOUTHEAST CORNER OF THE PROPERTY. ELEVATION = 915.18 (NAVD88)

**MBN**  
ENGINEERING  
MECHANICAL \* ELECTRICAL \* CIVIL  
503 7TH ST. N, SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

**REVISIONS:**

NO	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

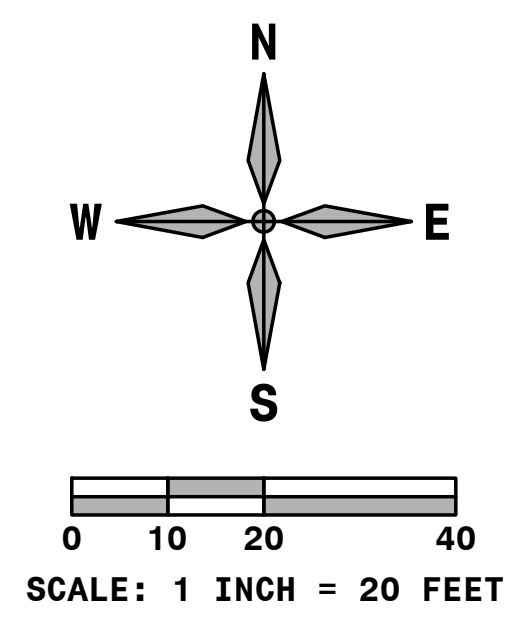
**JUNDT PROPERTIES LLC,**  
9780 INDUSTRIAL DRIVE

HORACE, NORTH DAKOTA



EXISTING CONDITIONS/DEMOLITION PLAN



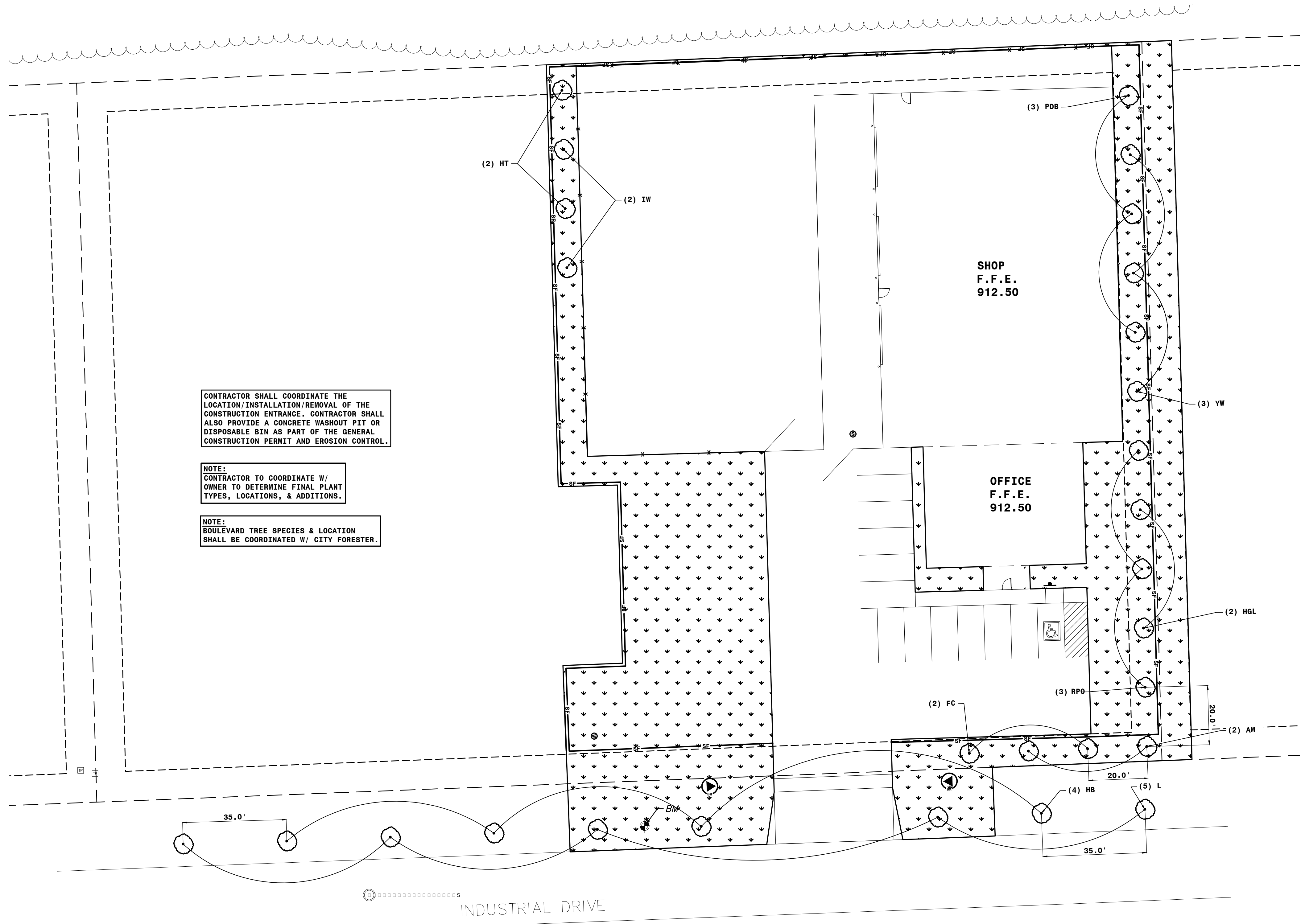


**SYMBOL LEGEND:**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT/BENCHMARK
	EXISTING LIGHT POLE
	EXISTING COMMUNICATIONS PEDESTAL
	NEW FENCE
	NEW SILT FENCE
	NEW INLET PROTECTION
	NEW SEEDING AND HYDROMULCH
	NEW FLARED END SECTION
	NEW TREES
	NEW CURB STOP
	NEW SANITARY CLEANOUT

- PLAN NOTES:**
- ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
  - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.
  - CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS EXPENSE.
  - IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA STATE HEALTH DEPARTMENT SEVEN (7) DAYS PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
  - CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) PERMIT FROM THE CITY OF HORACE PRIOR TO START OF CONSTRUCTION.
  - ALL PAVEMENT MARKED FOR DEMOLITION SHALL BE FULL DEPTH SAW CUT PRIOR TO REMOVAL.
  - CONTRACTOR SHALL COORDINATE TAPPING OF THE EXISTING WATERMAIN WITH THE CITY OF HORACE MAINS AND HYDRANTS DEPARTMENT. CALL (701)241-1453
  - ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

**SITE INFORMATION:**  
SITE SIZE:  
2.01 ACRES = 87,480 SF  
DISTURBED AREA = 47,320 SF  
ZONING:  
I-1 (LIGHT INDUSTRIAL)  
LEGAL DESCRIPTION:  
LOT 2, BLOCK 1, VISTO INDUSTRIAL 3RD ADDITION TO THE CITY OF HORACE, CASS COUNTY, NORTH DAKOTA  
OWNER CONTACT:  
JUNDT PROPERTIES LLC, 5018 PRARIE GREEN CT. W., WEST FARGO, NORTH DAKOTA 58078  
**BENCHMARKS:**  
BM: TOP NUT OF HYDRANT LOCATED SOUTH OF THE PROPERTY ±175' WEST FROM THE SOUTHEAST CORNER OF THE PROPERTY.  
ELEVATION = 915.18 (NAVD88)



CONTRACTOR SHALL COORDINATE THE LOCATION/INSTALLATION/REMOVAL OF THE CONSTRUCTION ENTRANCE. CONTRACTOR SHALL ALSO PROVIDE A CONCRETE WASHOUT PIT OR DISPOSABLE BIN AS PART OF THE GENERAL CONSTRUCTION PERMIT AND EROSION CONTROL.

NOTE:  
CONTRACTOR TO COORDINATE W/ OWNER TO DETERMINE FINAL PLANT TYPES, LOCATIONS, & ADDITIONS.

NOTE:  
BOULEVARD TREE SPECIES & LOCATION SHALL BE COORDINATED W/ CITY FORESTER.

**LANDSCAPE REQUIREMENTS:**

BOULEVARD STREET TREES REQUIRED  
ONE (1)-1 1/2" CALIPER STREET EVERY 35'  
PROVIDED BOULEVARD STREET TREES = 9  
ZONING: I-1 LIGHT INDUSTRIAL  
4 PLANT UNITS PER 1,000 SF  
REQUIRED PLANT UNITS = 189.27 UNITS  
PROVIDED PLANT UNITS = 190 UNITS

**LANDSCAPING SCHEDULE:**

LOCAL STREET TREE UNITS		
CODE	PLANT TYPE	QUANTITY
	LARGE DECIDUOUS TREE, MIN 1 1/2" CALIPER, MIN 30' MATURE HEIGHT	
GSL	GREENSPIRE LINDEN	5
HB	HACKBERRY	4
	TOTAL	9

OPEN SPACE TREE UNITS			
CODE	PLANT TYPE	QUANTITY	UNITS
	LARGE DECIDUOUS TREE (10 UNITS EA), MIN 1 1/2" CALIPER, MIN 30' MATURE HEIGHT		
AM	AMUR MAPLE	2	20
FC	FLOWERING CRABAPPLE	2	20
HT	HAWTHORN	2	20
IW	IRONWOOD	2	20
HGL	HARVEST GOLD LINDEN	2	20
YW	YELLOWWOOD	3	30
RPO	REGAL PRINCE OAK	3	30
PDB	PRAIRIE DREAM BIRCH	3	30
	COMPLETE UNIT TOTAL	19	190

EROSION CONTROL / LANDSCAPING PLAN

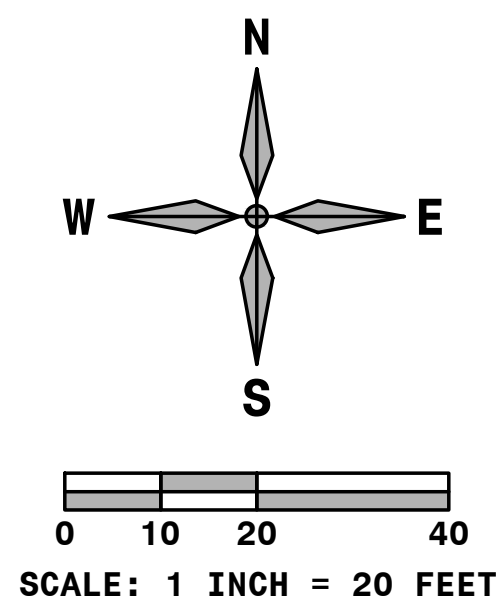
REVISIONS:

NO	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

**JUNDT PROPERTIES LLC,**  
9780 INDUSTRIAL DRIVE

HORACE, NORTH DAKOTA





**SYMBOL LEGEND:**

---	EXISTING PROPERTY LINE
- - -	EXISTING EASEMENT LINE
---	EXISTING ELECTRICAL LINE
---	EXISTING WATERMAIN LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING SANITARY SEWER LINE
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING HYDRANT/BENCHMARK
⊙	EXISTING LIGHT POLE
⊙	EXISTING COMMUNICATIONS PEDESTAL
⊙	EXISTING WATER GATE VALVE
x	NEW FENCE
⊙	NEW WATERMAIN FITTING
---	NEW WATERMAIN LINE
---	NEW SANITARY SERVICE LINE
⊙	NEW CURB STOP
⊙	NEW SANITARY CLEANOUT
⊙	NEW FLARED END SECTION
---	NEW STORM SEWER LINE

**PLAN NOTES:**

1. ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.
3. CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS EXPENSE.
4. IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA STATE HEALTH DEPARTMENT SEVEN (7) DAYS PRIOR TO CONSTRUCTION.
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8. CONTRACTOR SHALL COORDINATE TAPPING OF THE EXISTING WATERMAIN WITH THE CITY OF HORACE MAINS AND HYDRANTS DEPARTMENT. CALL (701)241-1453
9. ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

**SITE INFORMATION:**

SITE SIZE:  
2.01 ACRES = 87,480 SF

ZONING:  
I-1 (LIGHT INDUSTRIAL)

LEGAL DESCRIPTION:  
LOT 2, BLOCK 1, VISTO INDUSTRIAL 3RD ADDITION TO THE CITY OF HORACE, CASS COUNTY, NORTH DAKOTA

OWNER CONTACT:  
JUNDT PROPERTIES LLC, 5018 PRARIE GREEN CT. W., WEST FARGO, NORTH DAKOTA 58078

**BENCHMARKS:**

BM: TOP NUT OF HYDRANT LOCATED SOUTH OF THE PROPERTY ±175' WEST FROM THE SOUTHEAST CORNER OF THE PROPERTY.  
ELEVATION = 915.18 (NAVD88)

REVISIONS:

NO	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

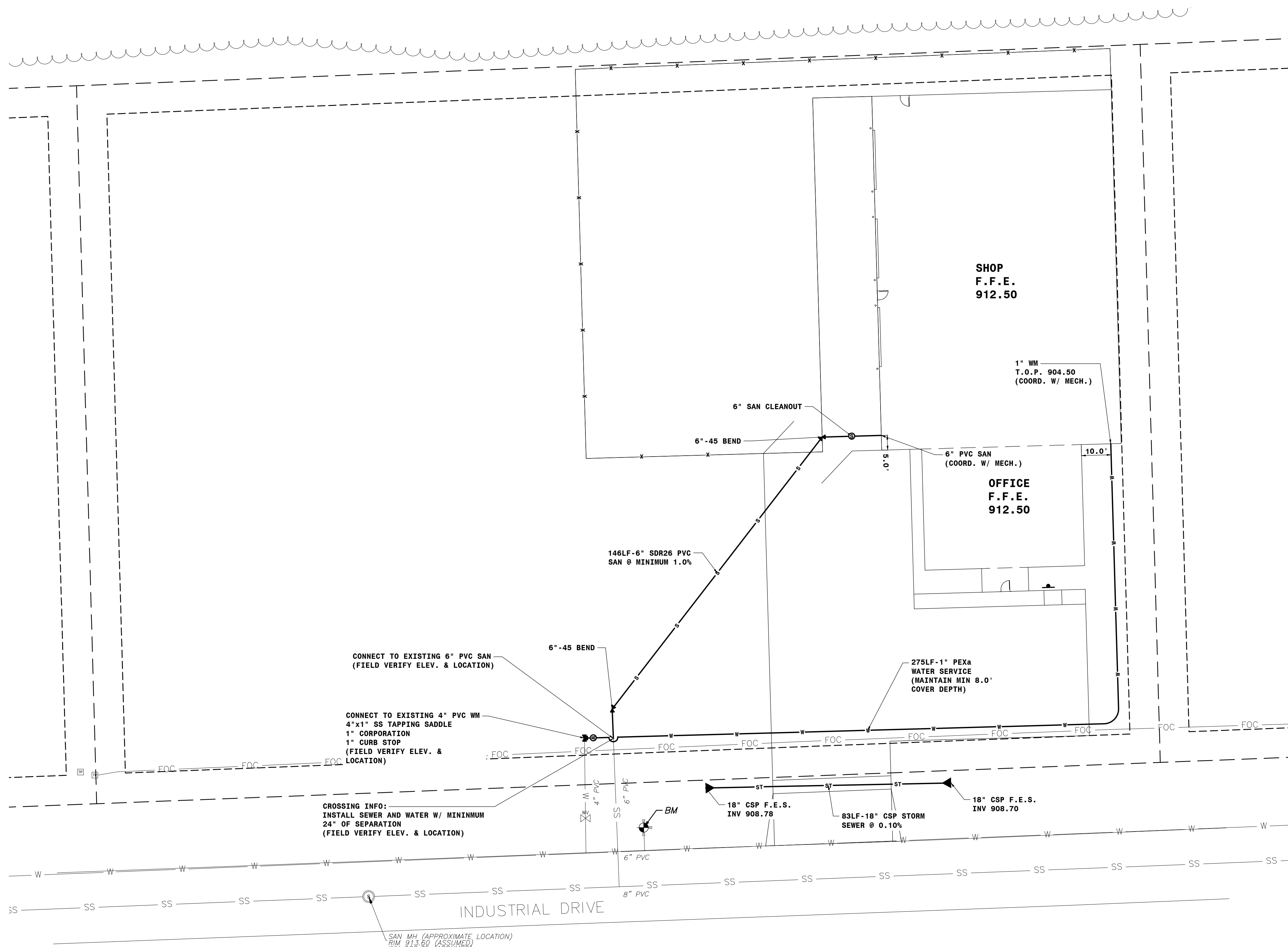
**JUNDT PROPERTIES LLC,**  
9780 INDUSTRIAL DRIVE

HORACE, NORTH DAKOTA

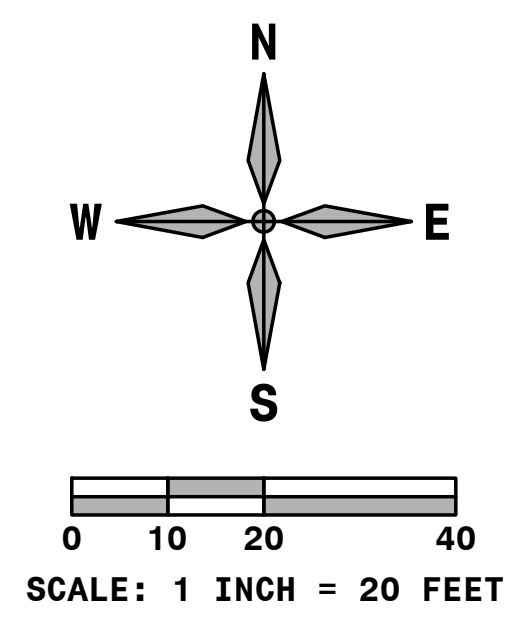
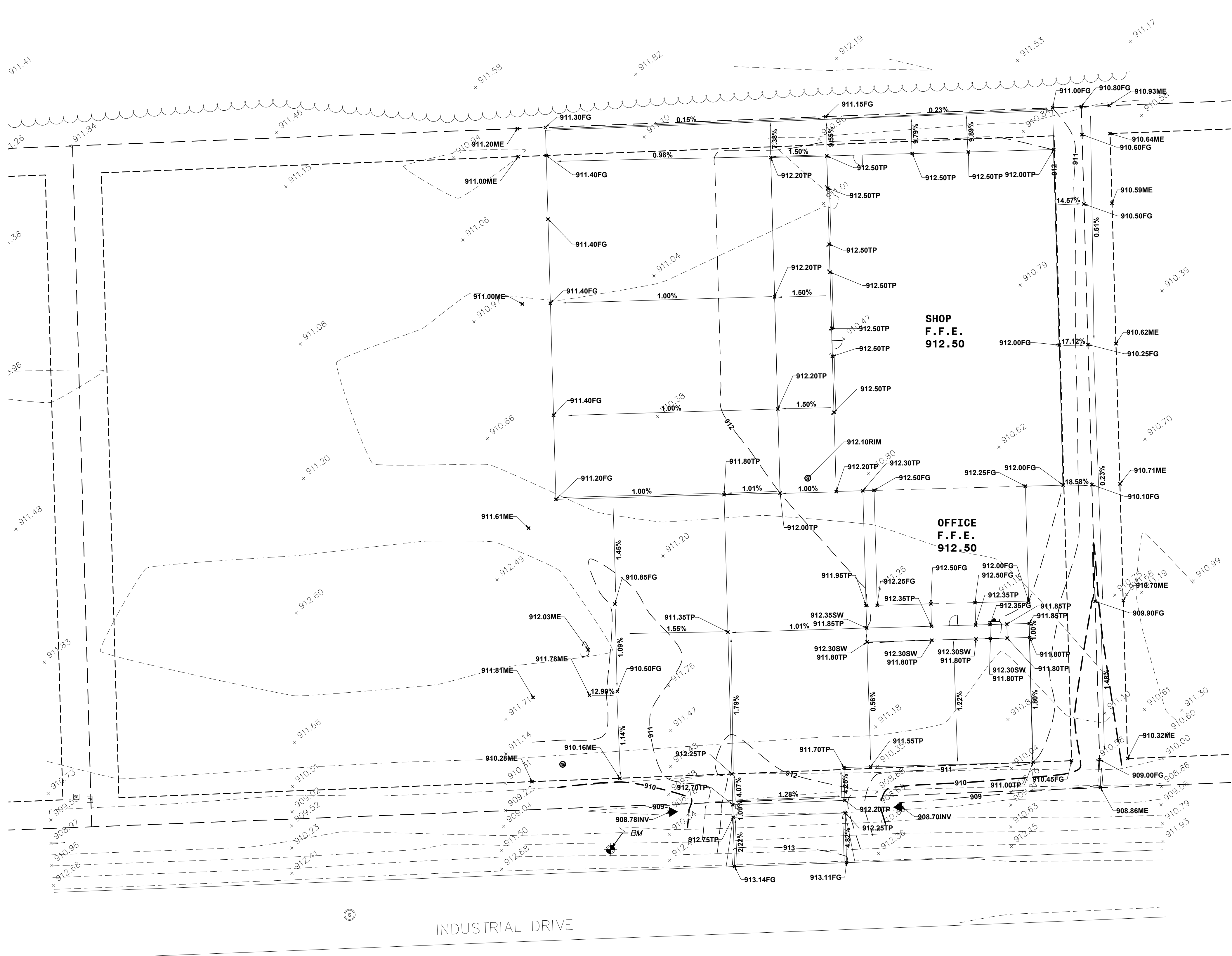


MBN JOB #: 23-009 DATE: 02-08-23

UTILITY PLAN







**SYMBOL LEGEND:**

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
⊙	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING HYDRANT/BENCHMARK
⊙	EXISTING LIGHT POLE
⊙	EXISTING COMMUNICATIONS PEDESTAL
---	EXISTING CONTOUR
⊙	EXISTING SPOT ELEVATION
⊕	EXISTING WATER GATE VALVE
x	NEW FENCE
⊙	NEW CURB STOP
⊙	NEW SANITARY CLEANOUT
⊕	NEW RIM ELEVATION
⊕	NEW INVERT ELEVATION
⊕	NEW TOP OF PAVMENT ELEVATION
⊕	NEW GUTTER ELEVATION
⊕	NEW TOP OF CURB ELEVATION
⊕	NEW FINISHED GRADE ELEVATION
⊕	NEW SIDEWALK ELEVATION
⊕	MATCH EXISTING ELEVATION
◄	NEW FLARED END SECTION
1.50%	NEW SLOPE & DIRECTION OF FLOW
---	NEW CONTOUR LINE

**PLAN NOTES:**

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9. ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

**SITE INFORMATION:**

**SITE SIZE:**  
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**ZONING:**  
I-1 (LIGHT INDUSTRIAL)

**LEGAL DESCRIPTION:**  
LOT 2, BLOCK 1, VISTO INDUSTRIAL 3RD ADDITION TO THE CITY OF HORACE, CASS COUNTY, NORTH DAKOTA

**OWNER CONTACT:**  
JUNDT PROPERTIES LLC, 5018 PRARIE GREEN CT. W., WEST FARGO, NORTH DAKOTA 58078

**BENCHMARKS:**

BM: TOP NUT OF HYDRANT LOCATED SOUTH OF THE PROPERTY ±175' WEST FROM THE SOUTHEAST CORNER OF THE PROPERTY.  
ELEVATION = 915.18 (NAVD88)

**MBN**  
ENGINEERING

MECHANICAL • ELECTRICAL • CIVIL

503 7TH ST. N., SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

REVISIONS:

NO	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

**JUNDT PROPERTIES LLC,**  
9780 INDUSTRIAL DRIVE

HORACE, NORTH DAKOTA

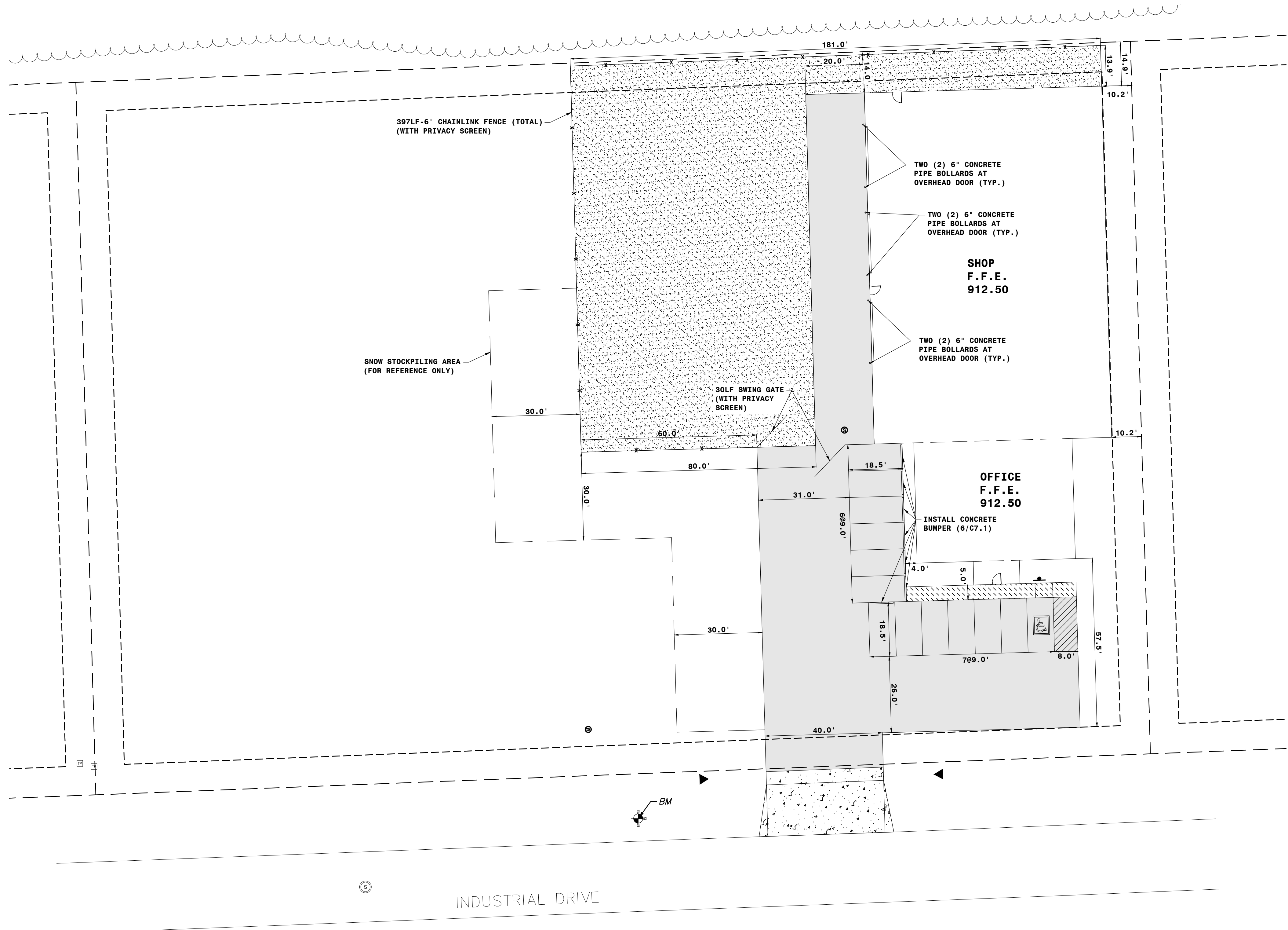
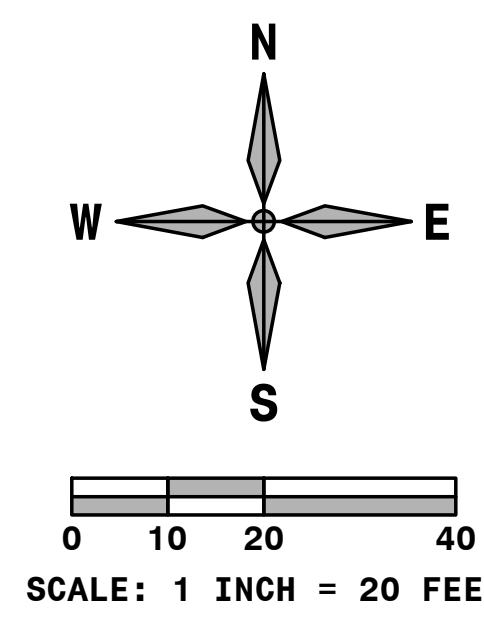


GRADING PLAN

MBN JOB #: 23-009 DATE: 02-08-23

**C4**





**SYMBOL LEGEND:**

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---	EXISTING EASEMENT LINE
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING HYDRANT/BENCHMARK
⊙	EXISTING LIGHT POLE
⊙	EXISTING COMMUNICATIONS PEDESTAL
⊙	EXISTING WATER GATE VALVE
-x-	NEW FENCE
▨	NEW 6" REINFORCED CONCRETE PAVEMENT
▨	NEW 4" THICKENED REINFORCED CONCRETE SIDEWALK
▨	NEW 12" GRAVEL SECTION
▨	NEW 7" REINFORCED CONCRETE PAVEMENT
⊙	NEW ACCESSIBLE SIGN
⊙	NEW FLARED END SECTION
⊙	NEW CURB STOP
⊙	NEW SANITARY CLEANOUT

**PLAN NOTES:**

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**SITE INFORMATION:**

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**LEGAL DESCRIPTION:**  
LOT 2, BLOCK 1, VISTO INDUSTRIAL 3RD ADDITION TO THE CITY OF HORACE, CASS COUNTY, NORTH DAKOTA

**OWNER CONTACT:**  
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**BENCHMARKS:**

**BM:** TOP NUT OF HYDRANT LOCATED SOUTH OF THE PROPERTY ±175' WEST FROM THE SOUTHEAST CORNER OF THE PROPERTY.  
ELEVATION = 915.18 (NAVD88)

**PARKING REQUIREMENTS:**

**INDOOR STORAGE/WAREHOUSE REQ.**  
1 PER 2500.00 S.F.  
(9700 X  $\frac{1}{2500}$  = 3.88 STALLS = 4 STALLS)

**OFFICE REQ.**  
1 PER 250 S.F. (2214 X  $\frac{1}{250}$ ) = 8.856 = 9 STALLS

**REQUIRED PARKING - 13 STALLS (1 ADA)**

**TOTAL PARKING SHOWN - 13 STALLS (1 ADA)**

**REVISIONS:**

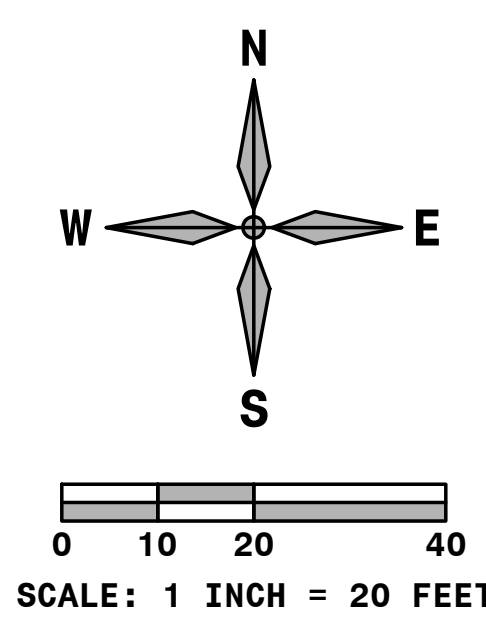
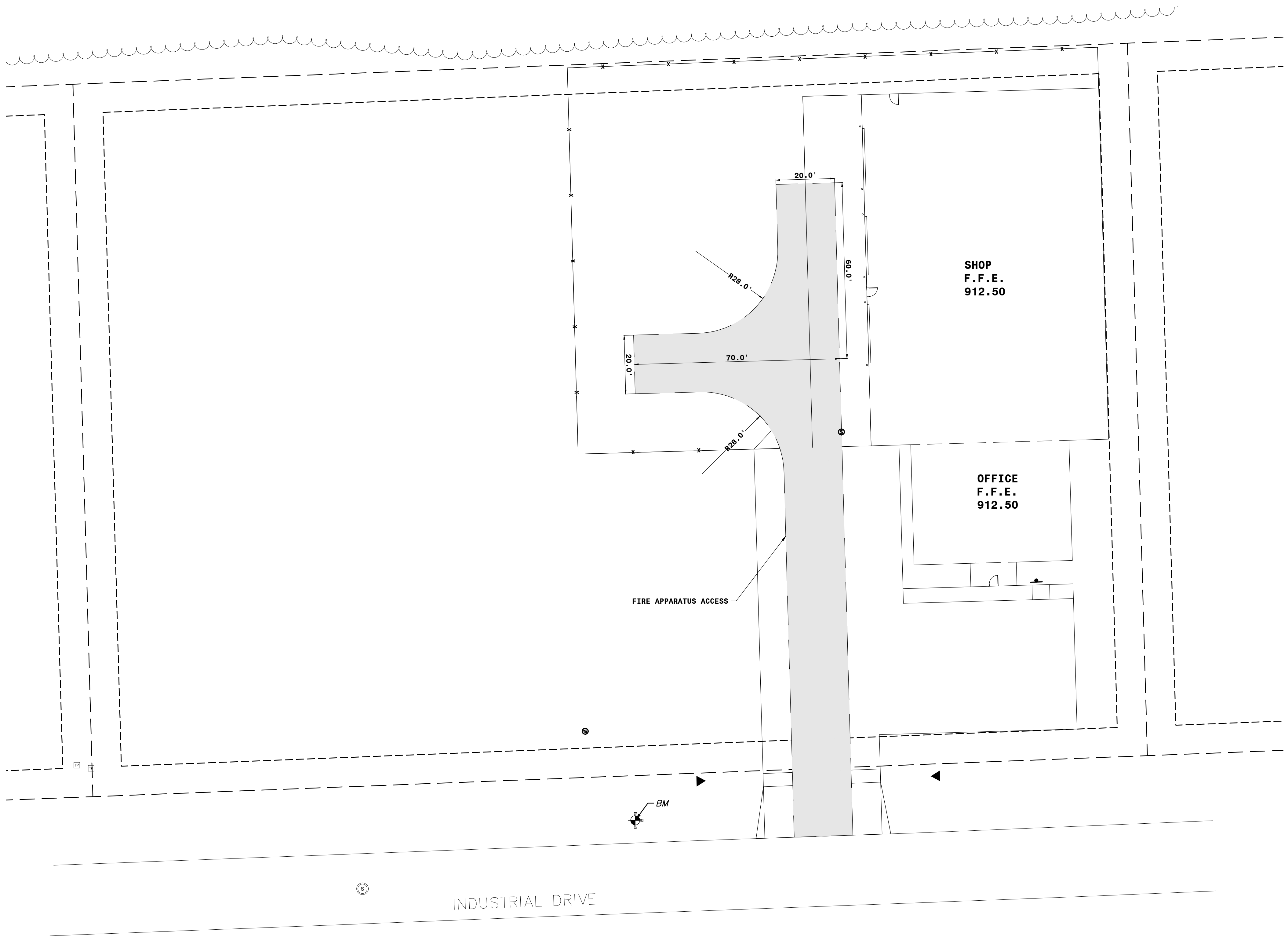
NO.	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

**JUNDT PROPERTIES LLC,**  
9780 INDUSTRIAL DRIVE

HORACE, NORTH DAKOTA



PAVING PLAN



**SYMBOL LEGEND:**

---	EXISTING PROPERTY LINE
- - - -	EXISTING EASEMENT LINE
⊙	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING HYDRANT/BENCHMARK
☼	EXISTING LIGHT POLE
⊠	EXISTING COMMUNICATIONS PEDESTAL
⊗	EXISTING WATER GATE VALVE
x	NEW FENCE
+	NEW ACCESSIBLE SIGN
▲	NEW FLARED END SECTION
●	NEW CURB STOP
⊙	NEW SANITARY CLEANOUT
▭	NEW FIRE ACCESS

**PLAN NOTES:**

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**OWNER CONTACT:**  
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**BENCHMARKS:**

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**MBN**  
ENGINEERING  
MECHANICAL • ELECTRICAL • CIVIL  
503 7TH ST. N., SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

**JUNDT PROPERTIES LLC,  
9780 INDUSTRIAL DRIVE**

HORACE, NORTH DAKOTA

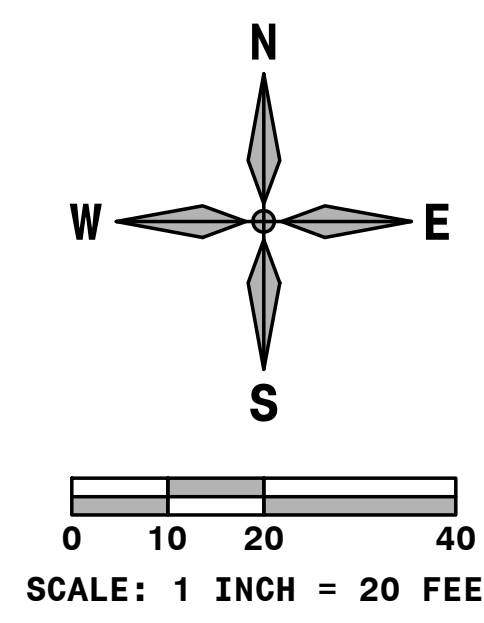
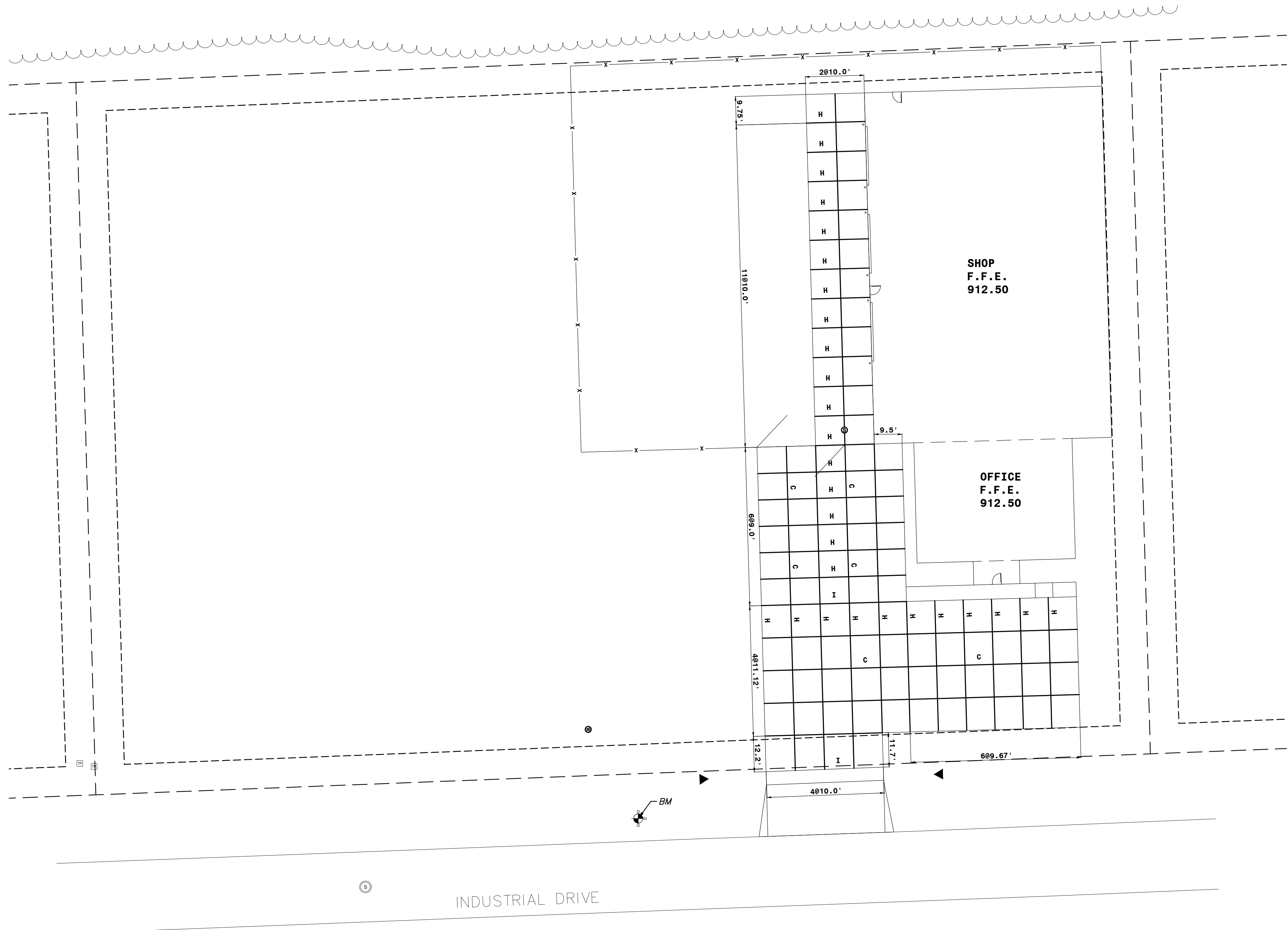


FIRE ACCESS PLAN

MBN JOB #: 23-009      DATE: 02-08-23

C5.1





**SYMBOL LEGEND:**

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⊙	EXISTING HYDRANT/BENCHMARK
⊙	EXISTING LIGHT POLE
⊙	EXISTING COMMUNICATIONS PEDESTAL
⊙	EXISTING WATER GATE VALVE
x	NEW FENCE
c	NEW TIED CONSTRUCTION JOINT
H	NEW CONSTRUCTION JOINT
I	NEW ISOLATION JOINT
◀	NEW FLARED END SECTION
⊙	NEW CURB STOP
⊙	NEW SANITARY CLEANOUT

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**MBN**  
ENGINEERING

MECHANICAL \* ELECTRICAL \* CIVIL

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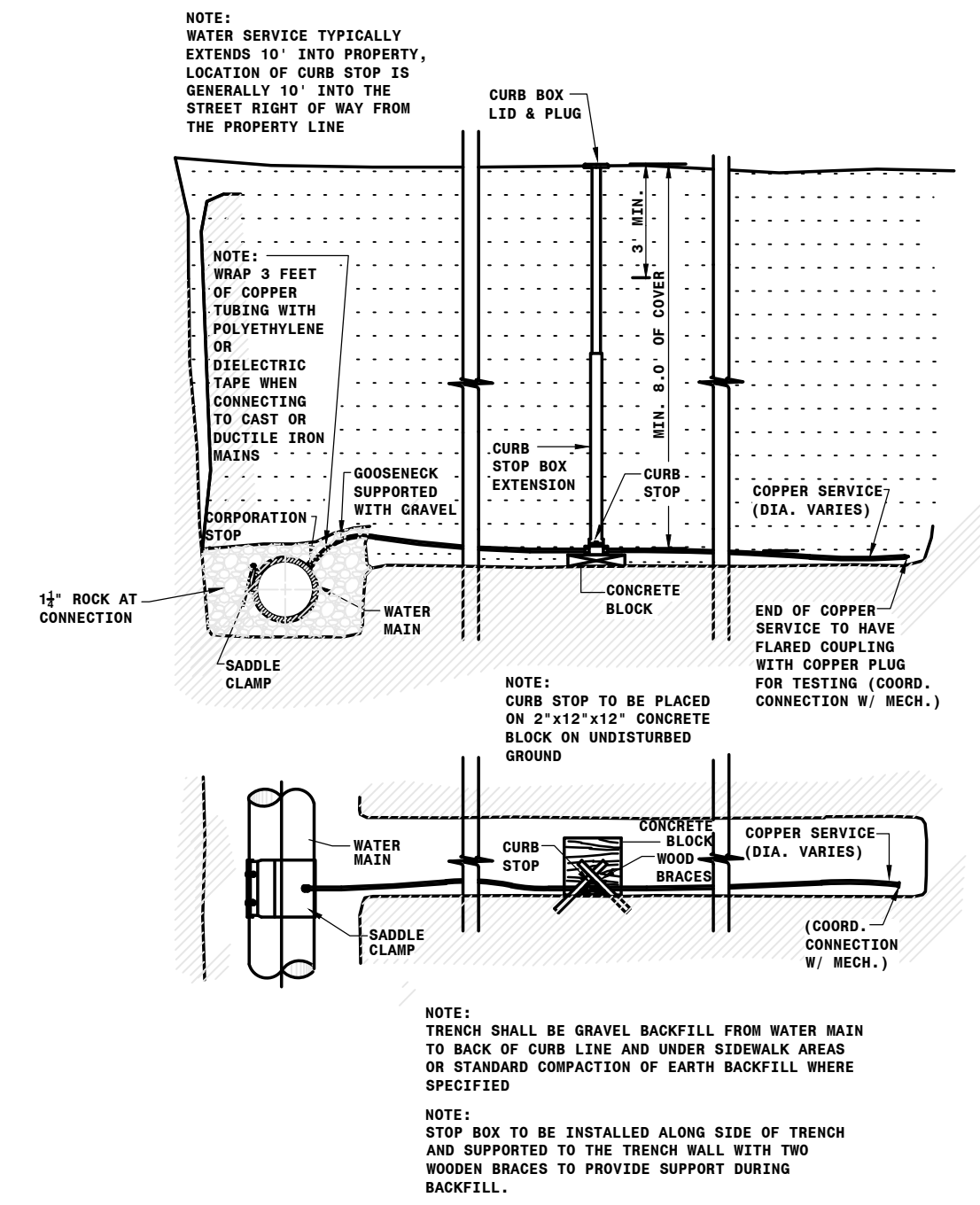
HORACE, NORTH DAKOTA



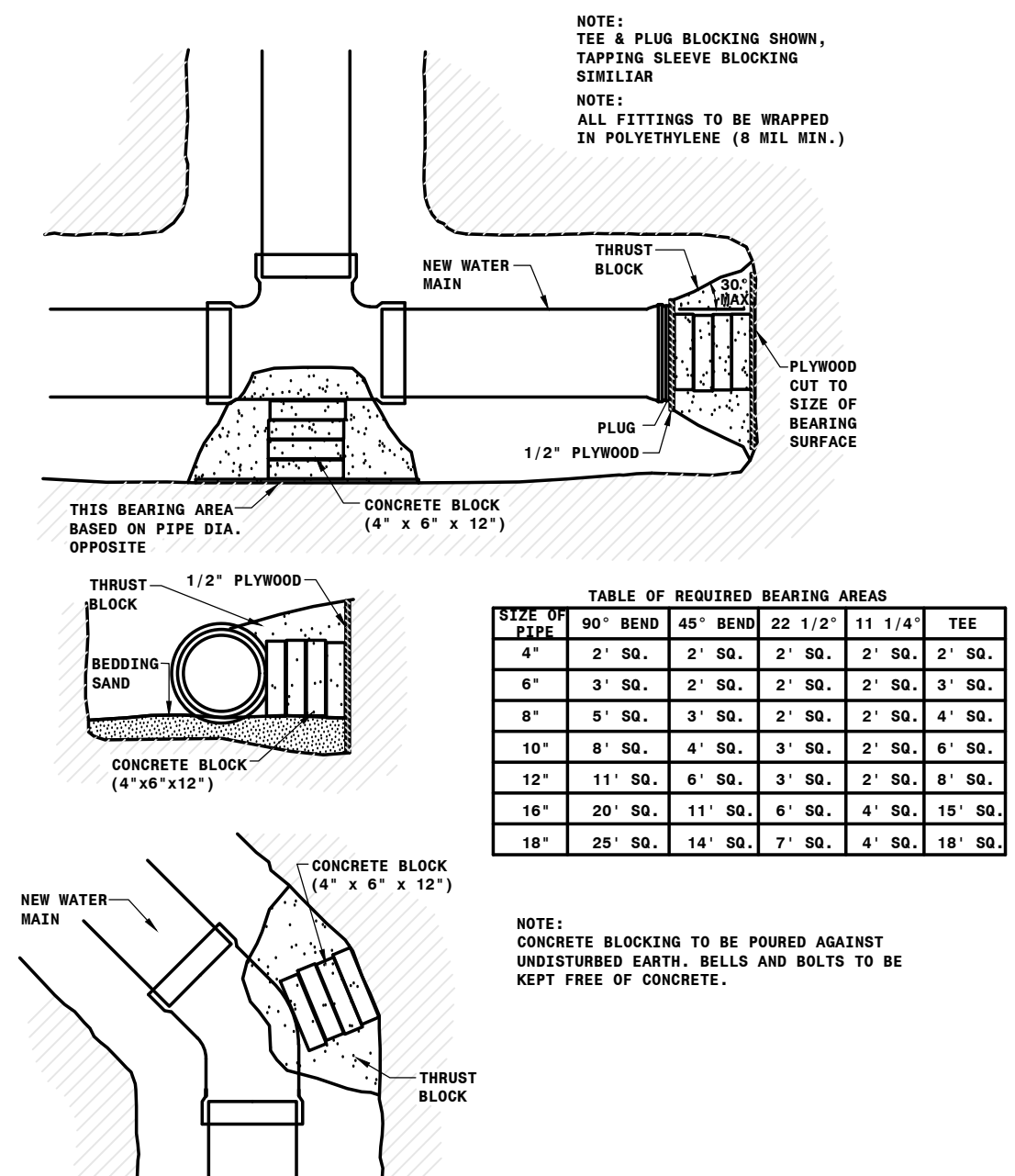
JOINTING PLAN

MBN JOB #: 23-009 DATE: 02-08-23

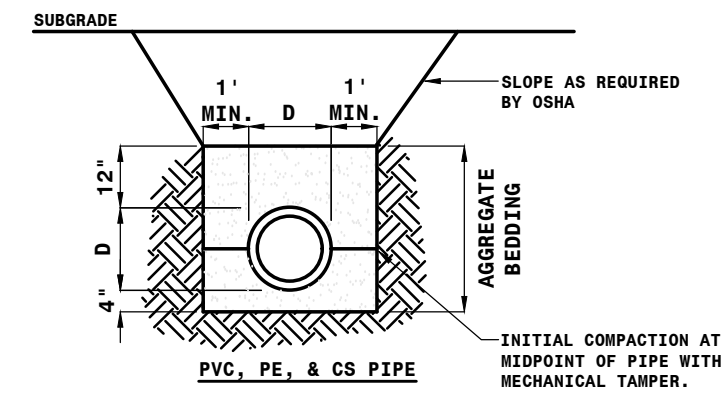




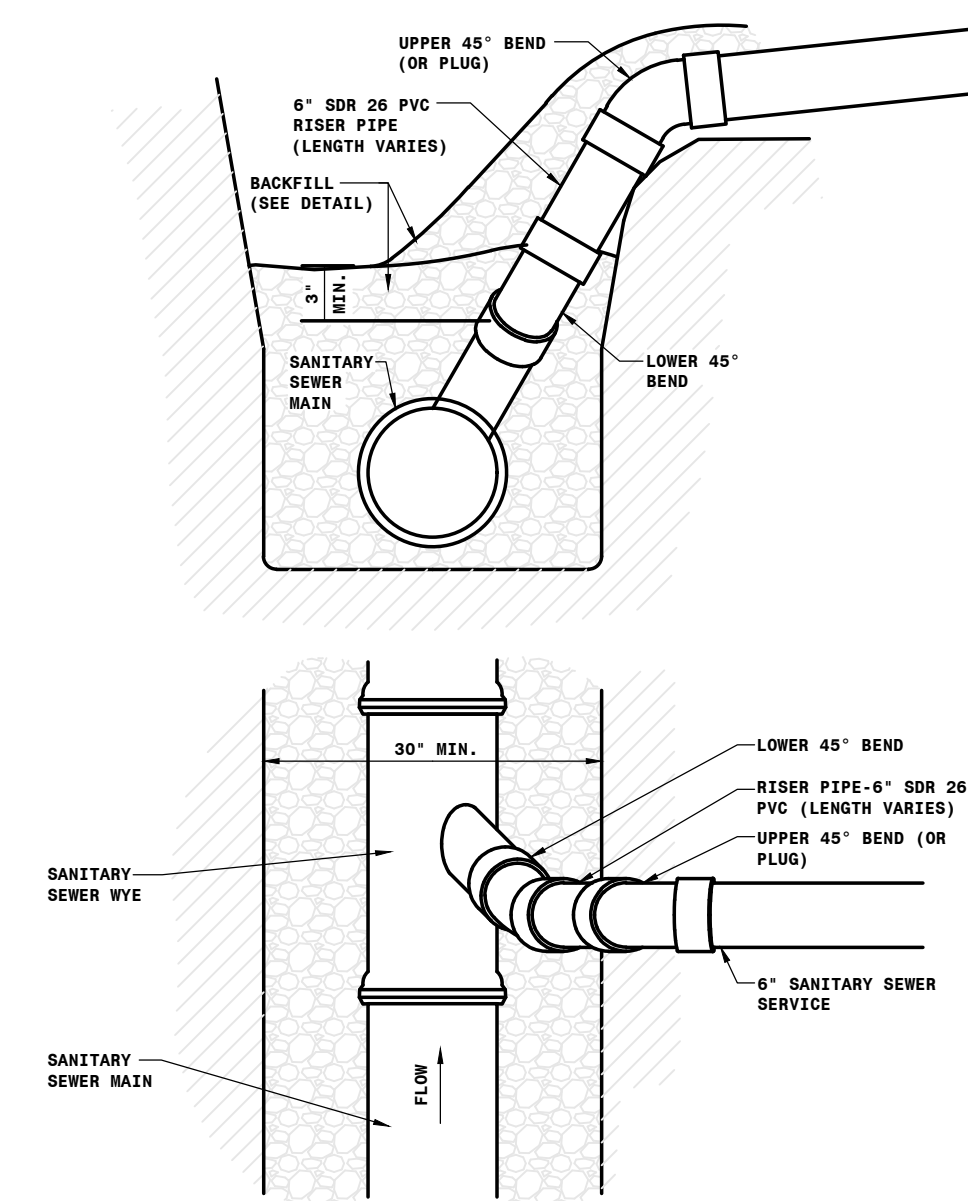
1 WATER MAIN SERVICE DETAIL  
C7.0 NOT-TO-SCALE



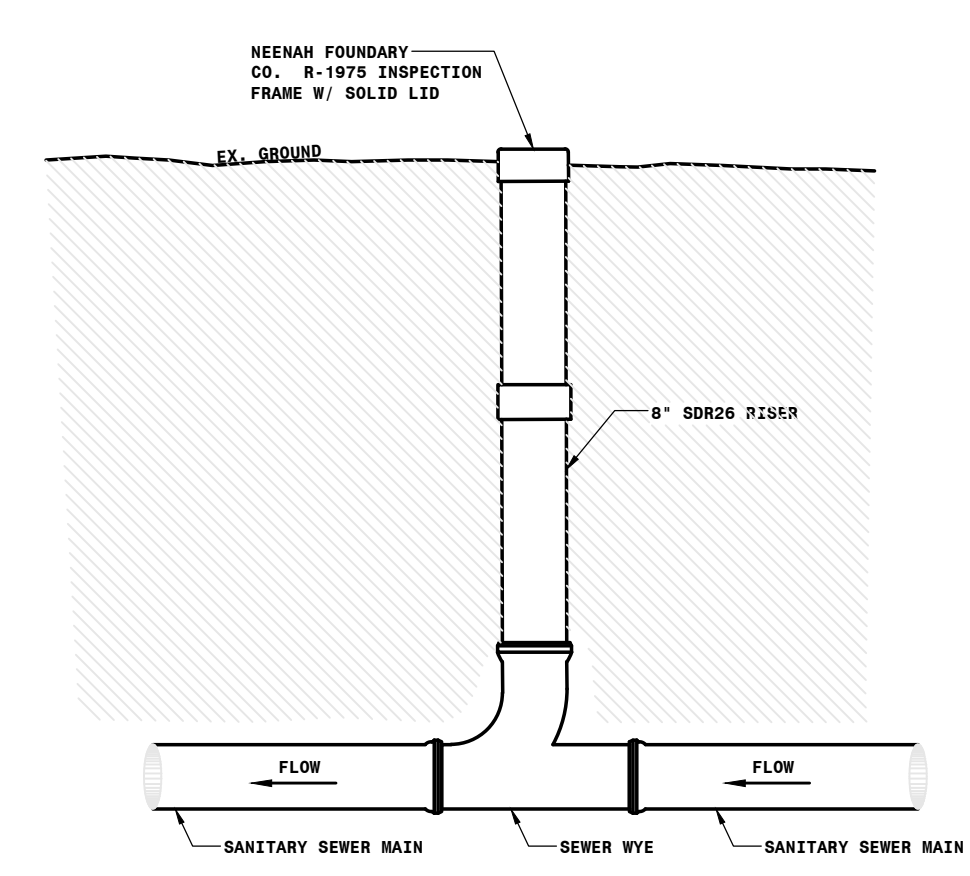
2 WATER MAIN THRUST BLOCKING DETAIL  
C7.0 NOT-TO-SCALE



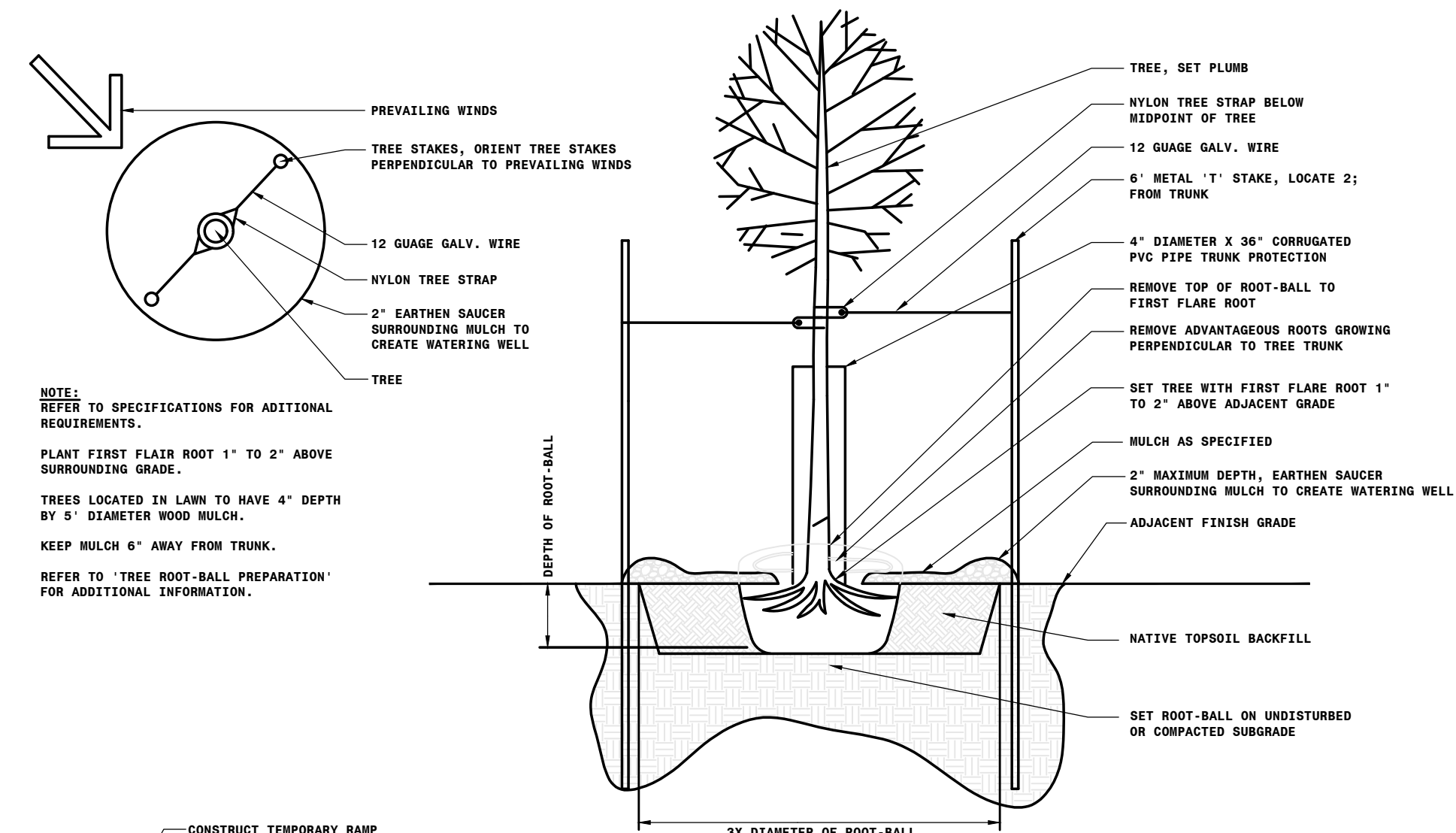
3 AGGREGATE BEDDING DETAIL  
C7.0 NOT-TO-SCALE



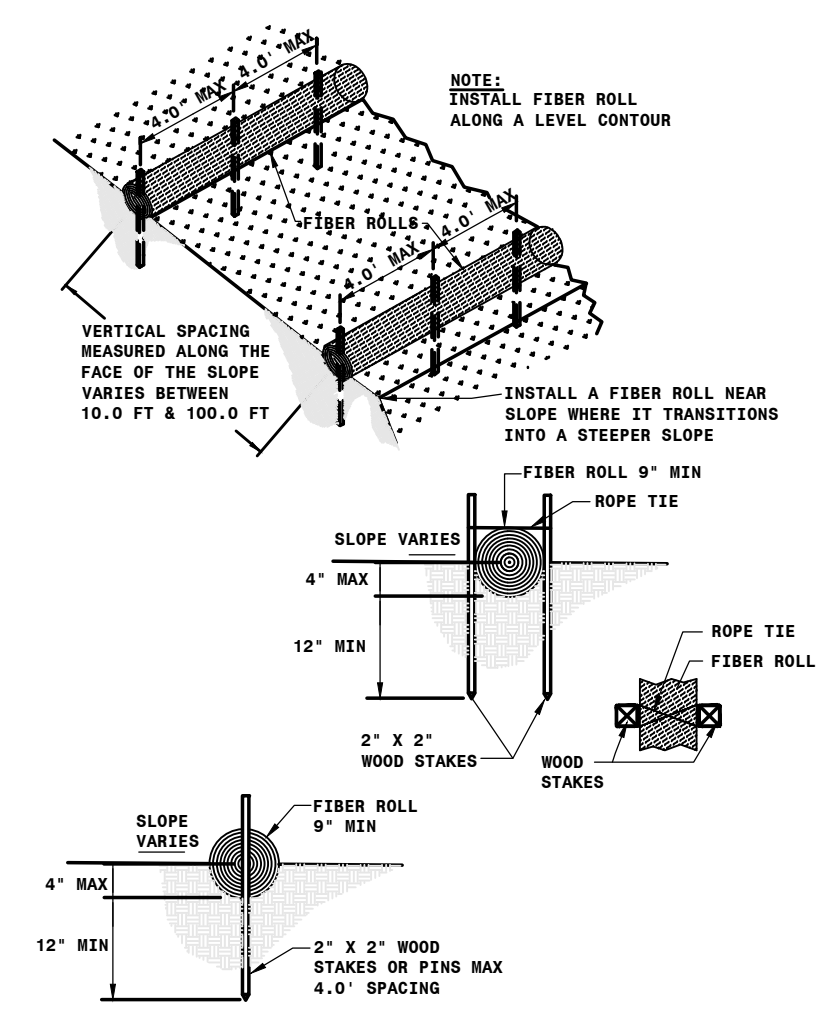
4 SANITARY SEWER RISER DETAIL  
C7.0 NOT-TO-SCALE



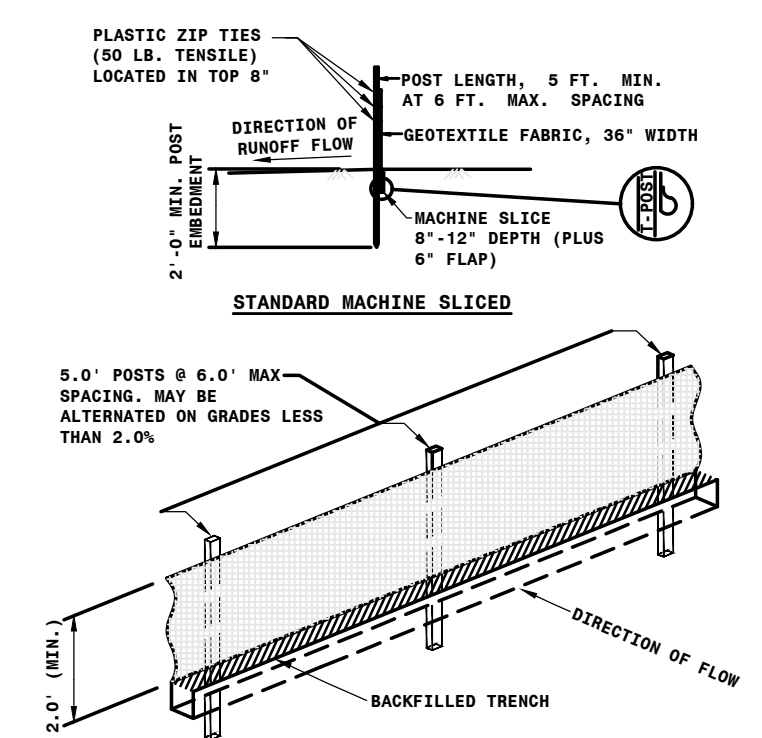
5 SANITARY SEWER CLEANOUT STANDARD DETAIL  
C7.0 NOT-TO-SCALE



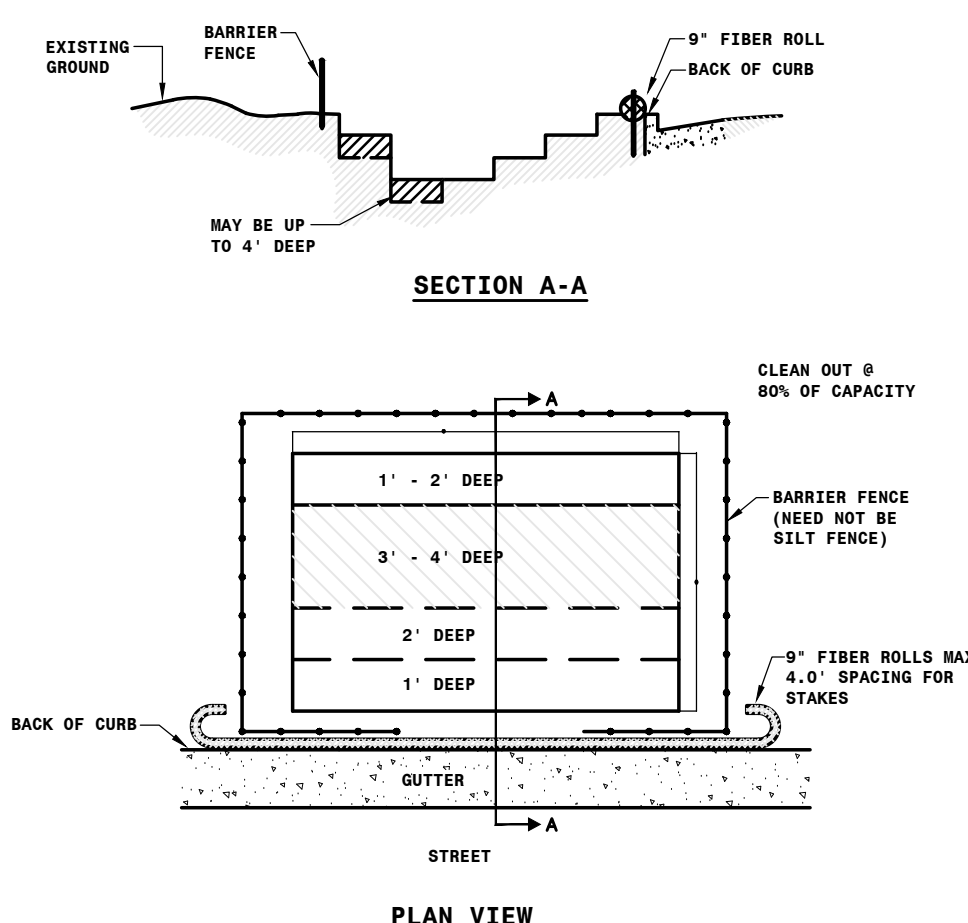
6 TREE PLANTING DETAIL  
C7.0 NOT-TO-SCALE



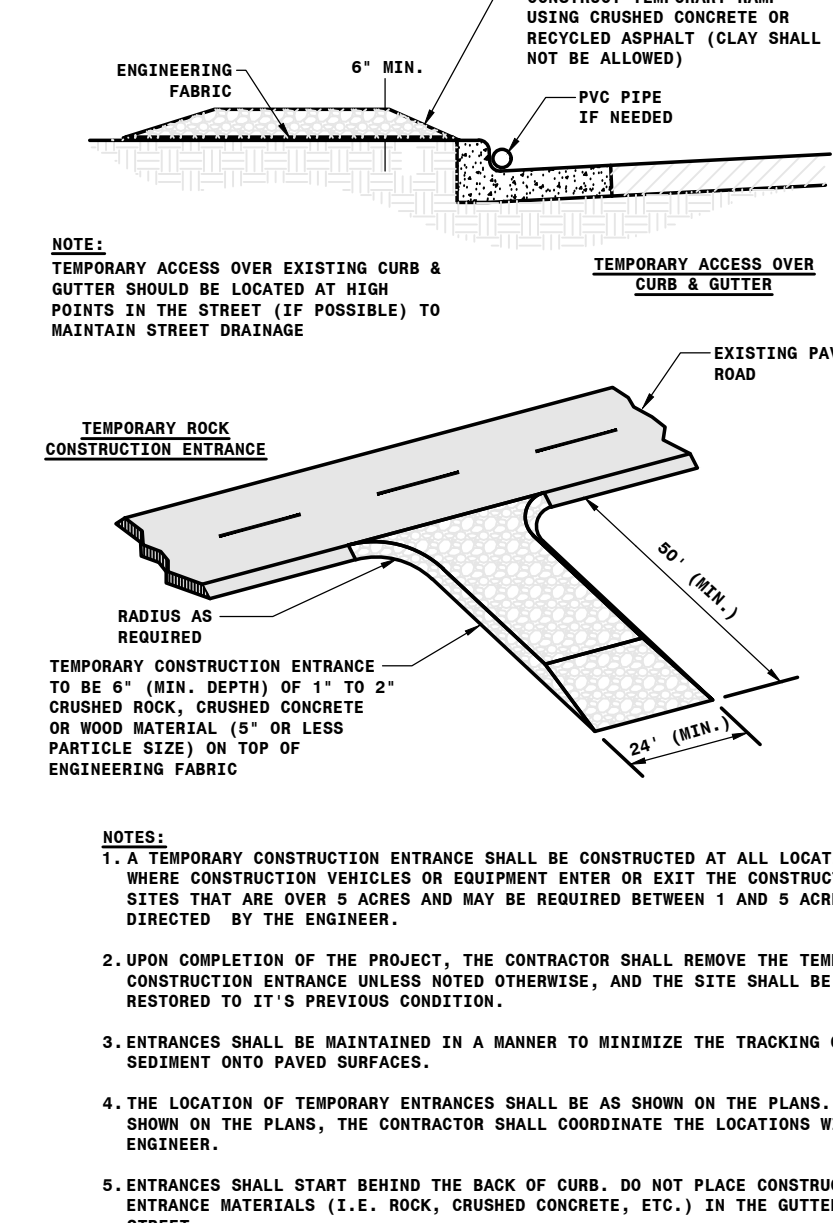
7 BIOROLL DETAIL  
C7.0 NOT-TO-SCALE



8 SILT FENCE DETAIL  
C7.0 NOT-TO-SCALE



9 CONCRETE WASHOUT DETAIL  
C7.0 NOT-TO-SCALE



10 CONSTRUCTION ENTRANCE DETAIL  
C7.0 NOT-TO-SCALE

REVISIONS:

NO.	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

**JUNDT PROPERTIES**  
**LLC,**  
**9780 INDUSTRIAL**  
**DRIVE**

HORACE, NORTH DAKOTA

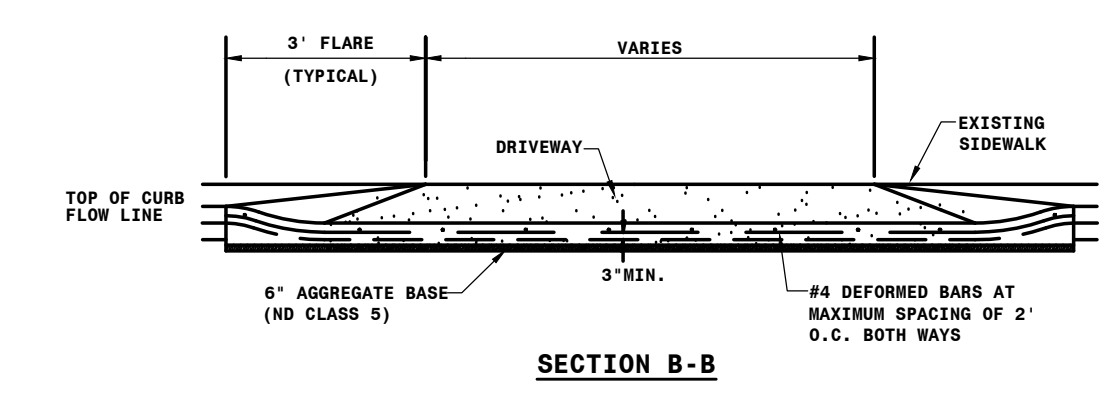
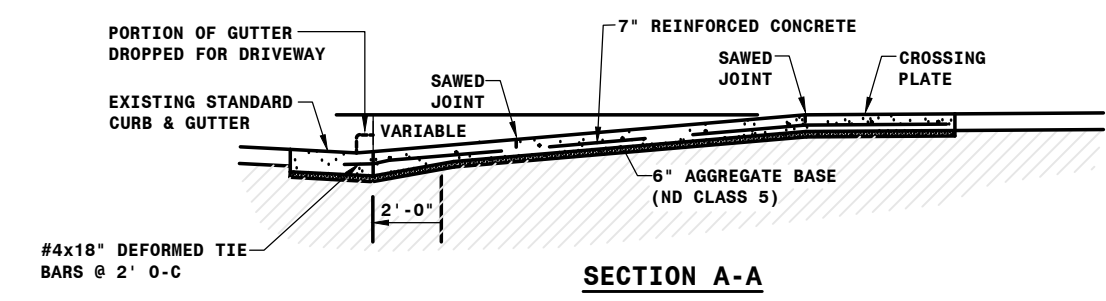
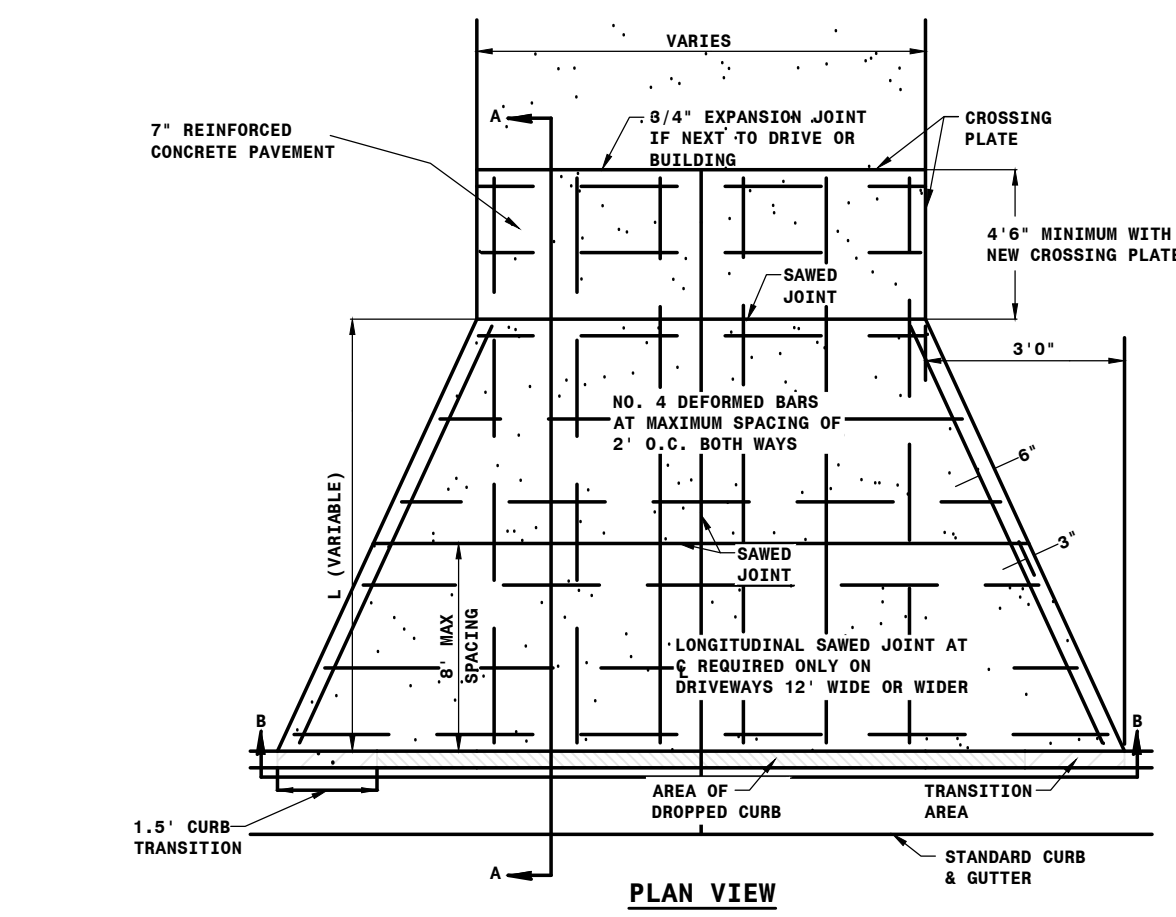


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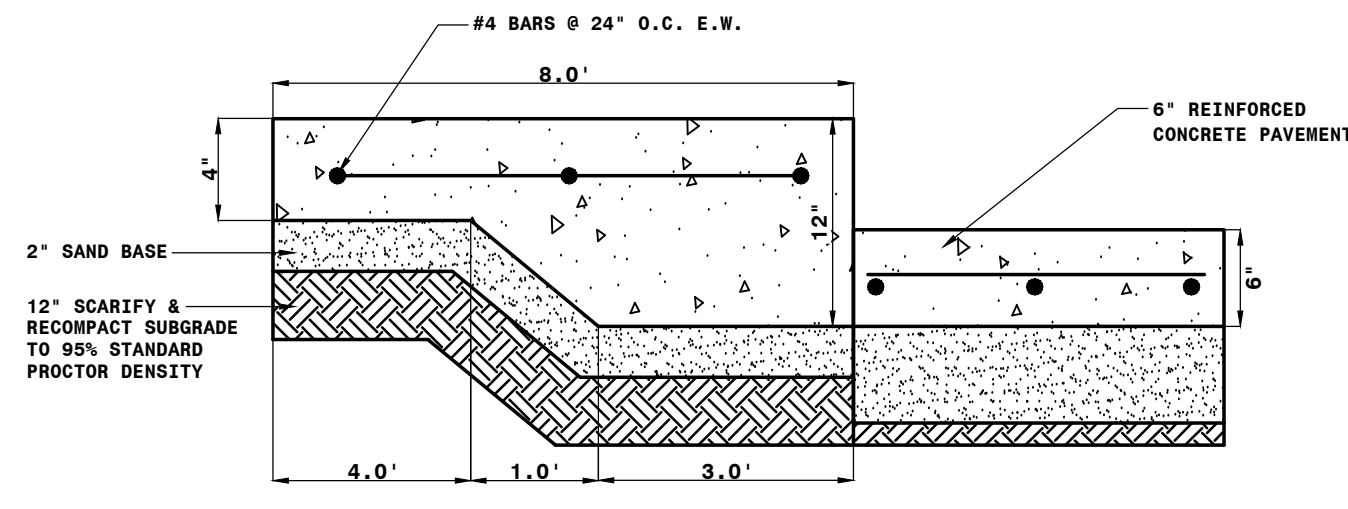
DETAILS

**C7.0**

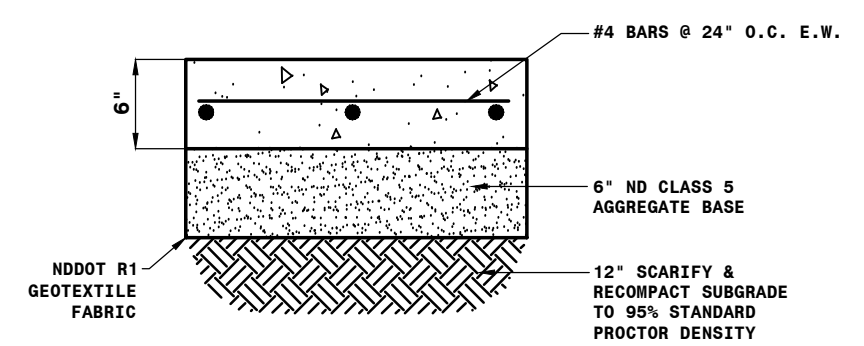




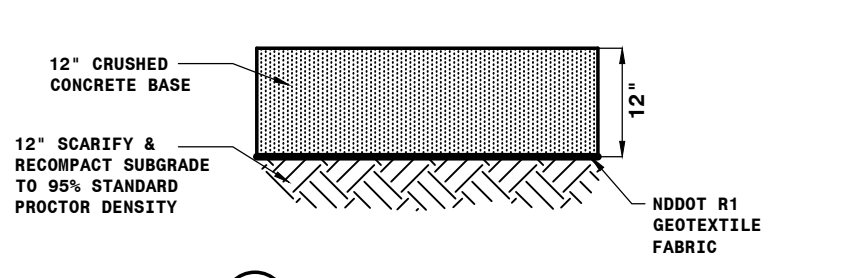
**1 7" REINFORCED CONCRETE DRIVEWAY**  
C7.1 NOT-TO-SCALE



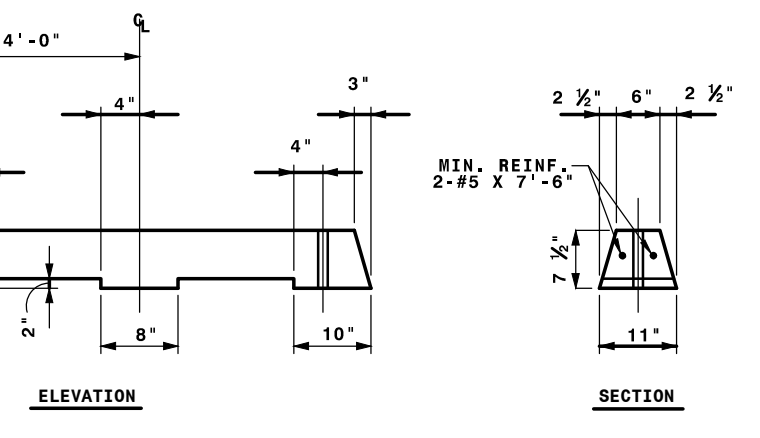
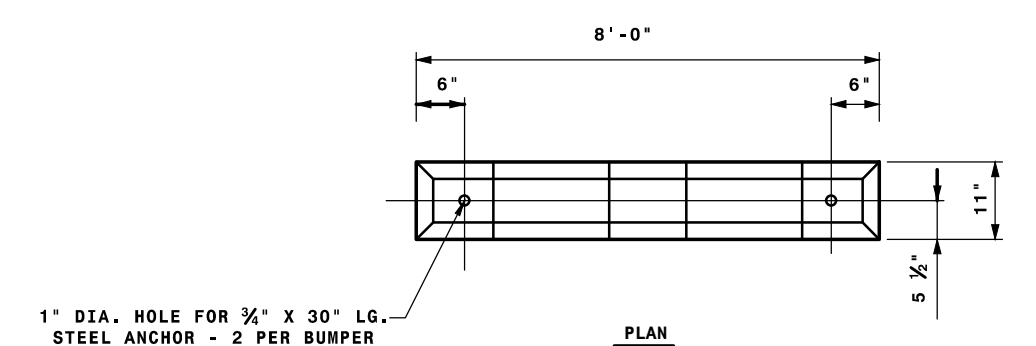
**2 4" THICKENED EDGE CONCRETE DETAIL**  
C7.1 NOT-TO-SCALE



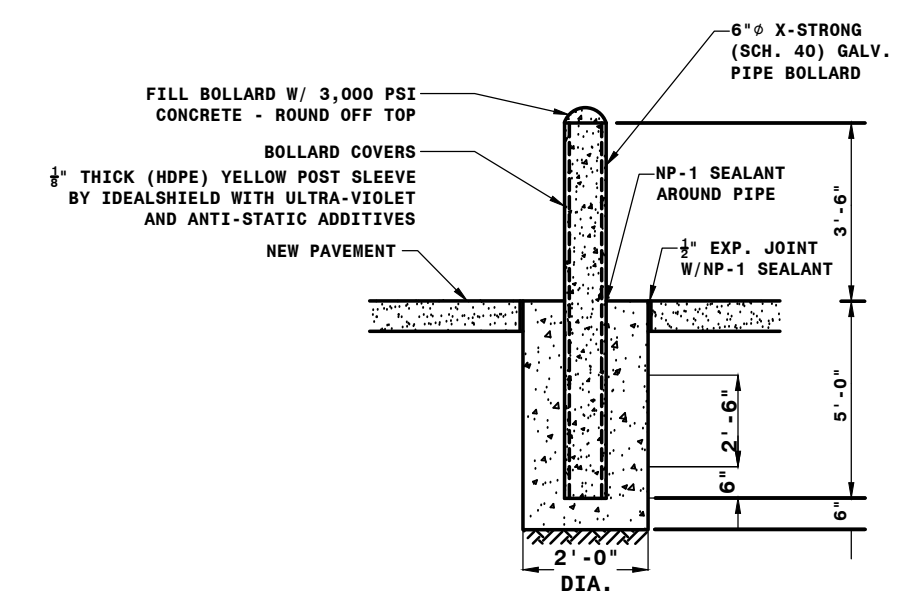
**3 6" REINFORCED CONCRETE PAVEMENT DETAIL**  
C7.1 NOT-TO-SCALE



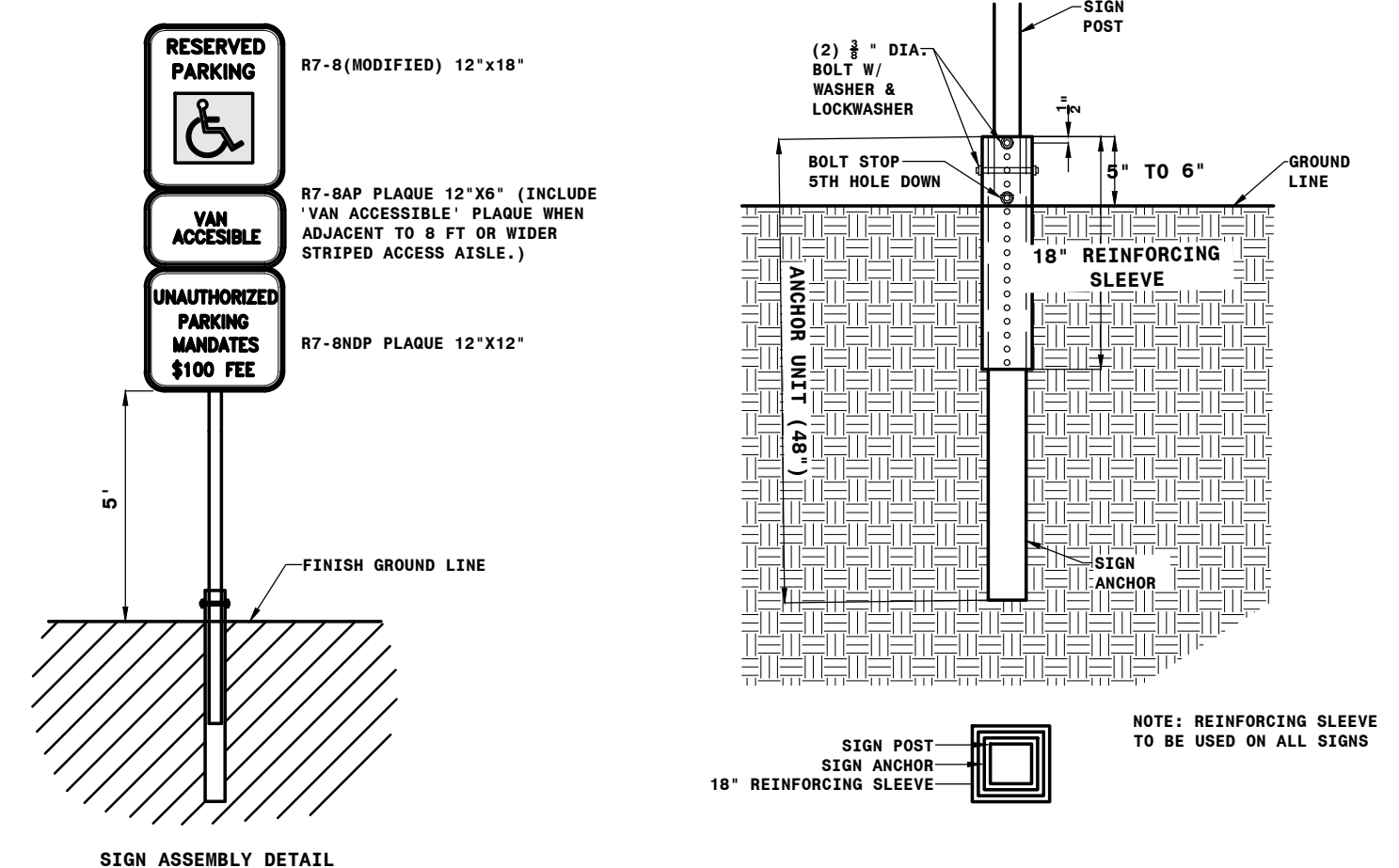
**4 12" GRAVEL SECTION**  
C7.1 NOT-TO-SCALE



**5 CONCRETE PARKING BUMPER DETAIL**  
C7.1 NOT-TO-SCALE

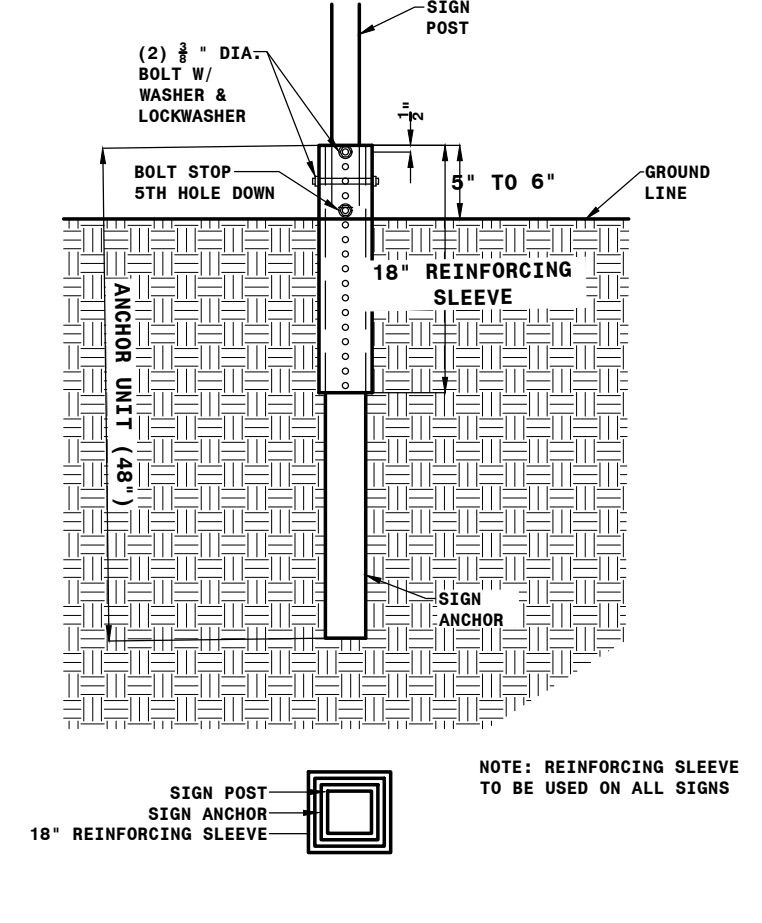


**6 6" CONCRETE PIPE BOLLARD DETAIL**  
C7.1 NOT-TO-SCALE



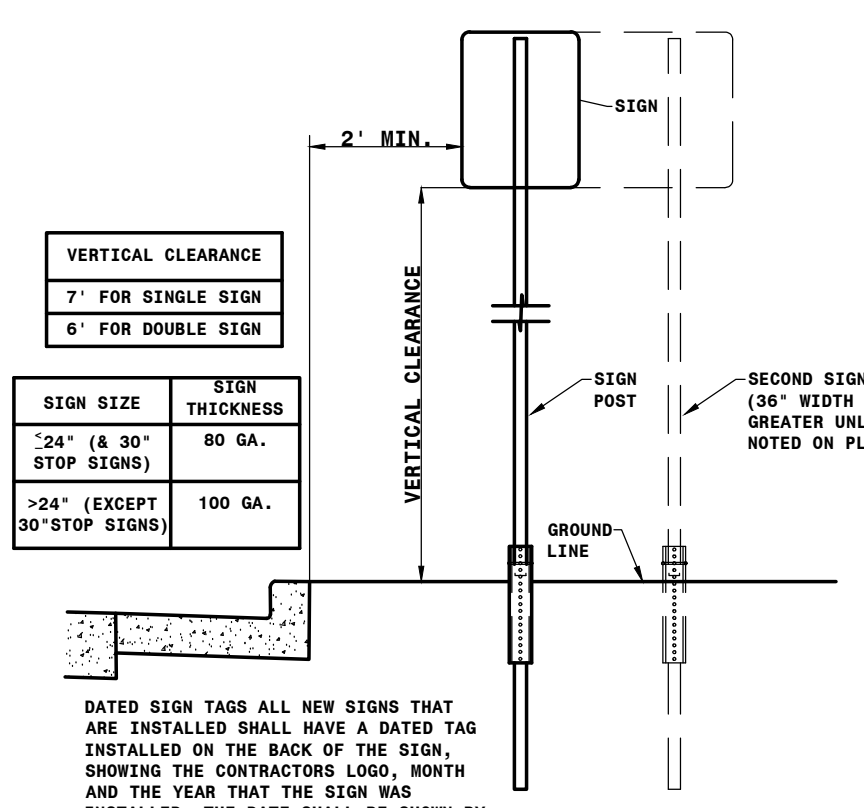
- NOTES:**
1. SHEETING SHALL BE ENGINEER GRADE.
  2. SIGN PLATE SHALL BE 80 GAUGE ALUMINUM.
  3. SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**7 ACCESSIBILITY SIGN DETAIL**  
C7.1 NOT-TO-SCALE



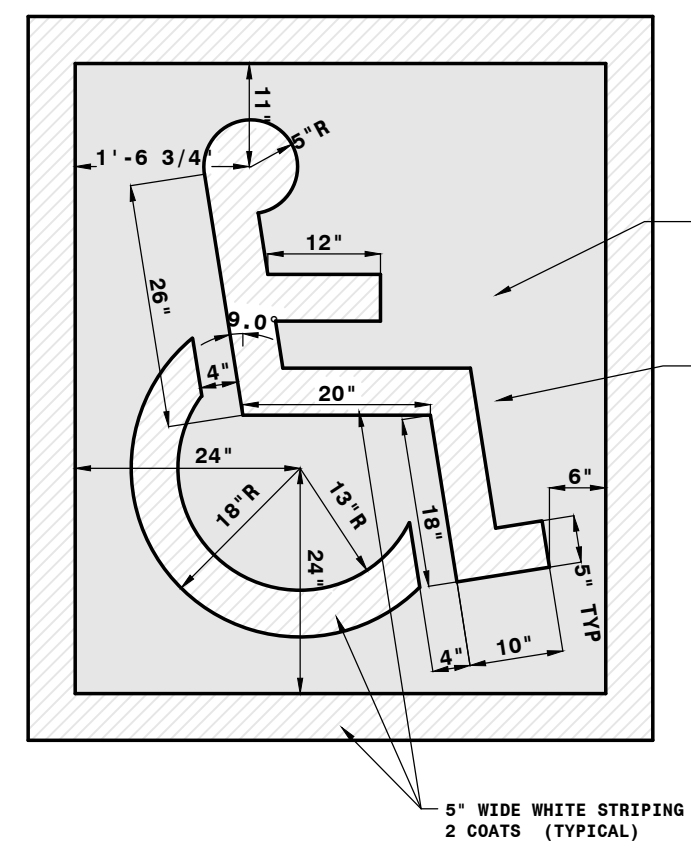
SIGN SIZE	POST	ANCHOR SLEEVE
12" WIDTH SIGNS	1.50"	1.75" 2.00"
18" WIDTH SIGNS	1.75"	2.00" 2.25"
24" x 24" SIGNS	2.00"	2.25" 2.50"
LARGER THAN 24" x 24"	2.00"	2.25" 2.50"

**8 SIGN ANCHOR BLVD INSTALLATION DETAIL**  
C7.1 NOT-TO-SCALE

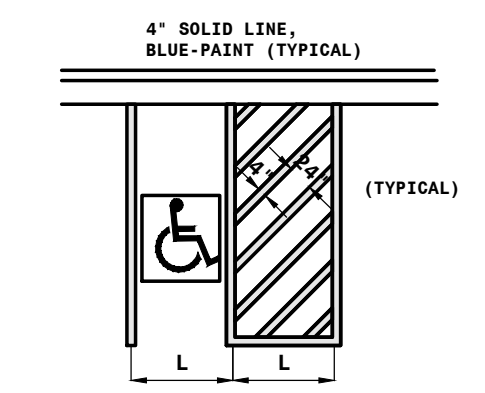


SIGN SIZE	SIGN THICKNESS	SIGN
>24" (8 30" STOP SIGNS)	80 GA.	
>24" (EXCEPT 30" STOP SIGNS)	100 GA.	

**9 SIGN ASSEMBLY DETAIL**  
C7.1 NOT-TO-SCALE

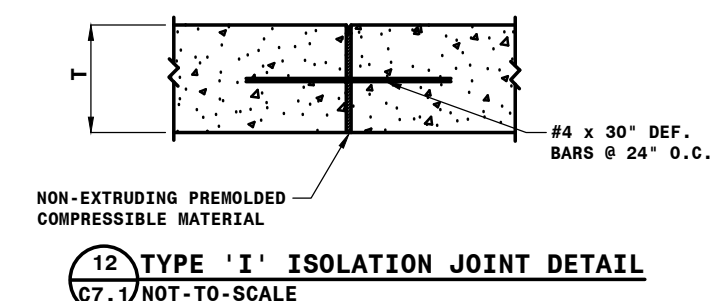


**10 ACCESSIBILITY SYMBOL DETAIL**  
C7.1 NOT-TO-SCALE

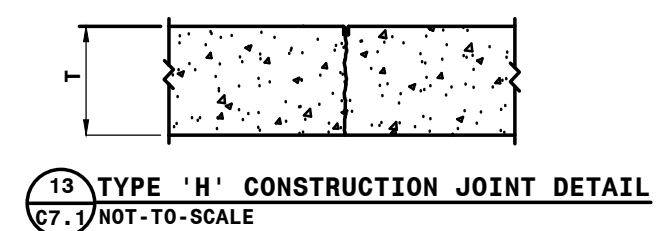


- NOTES:**
1. L = DIMENSIONS AS SHOWN ON PLANS. CENTER OF STRIPE TO CENTER OF STRIPE.
  2. STRIPING ADJACENT TO ACCESSIBLE PARKING SHALL BE BLUE.
  3. DIMENSION ACCESSIBLE SYMBOLS AS PER INTERNATIONAL SYMBOL OF ACCESSIBILITY DETAIL.

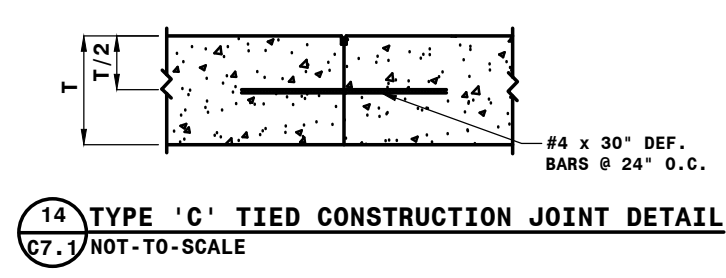
**11 ACCESSIBLE STRIPING DETAIL**  
C7.1 NOT-TO-SCALE



**12 TYPE 'I' ISOLATION JOINT DETAIL**  
C7.1 NOT-TO-SCALE



**13 TYPE 'H' CONSTRUCTION JOINT DETAIL**  
C7.1 NOT-TO-SCALE



**14 TYPE 'C' TIED CONSTRUCTION JOINT DETAIL**  
C7.1 NOT-TO-SCALE

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	4/20/23	CITY REVIEW

**JUNDT PROPERTIES LLC,**  
9780 INDUSTRIAL DRIVE

HORACE, NORTH DAKOTA



MBN JOB #: 23-009 DATE: 02-08-23

DETAILS

**C7.1**